

GODALMING TOWN COUNCIL

Tel: 01483 523575
E-Mail: office@godalming-tc.gov.uk
Website: www.godalming-tc.gov.uk

107-109 High Street
Godalming
Surrey
GU7 1AQ

7 March 2025

I HEREBY SUMMON YOU to attend the **ENVIRONMENT & PLANNING COMMITTEE** Meeting to be held in the Council Chamber, Waverley Borough Council, The Burys, Godalming on THURSDAY, 13 MARCH 2025 at 6.30pm.

Andy Jeffery

Andy Jeffery
Town Clerk

If you wish to speak at this meeting please contact Godalming Town Council on 01483 523575 or email office@godalming-tc.gov.uk

Where possible proceedings will be live streamed via the Town Council's YouTube page. If you wish to watch the council meeting's proceedings, please go to Godalming Town Council's [YouTube](#) page.

Committee Members:	Councillor Kiehl – Chair Councillor Crooks – Vice Chair
Councillor Adam	Councillor Holliday
Councillor Clayton	Councillor Martin
Councillor Crowe	Councillor PMA Rivers
Councillor C Downey	Councillor Steel
Councillor S Downey	Councillor Thomson
Councillor Duce	Councillor Weightman
Councillor Follows	Councillor Williams
Councillor Heagin	

A G E N D A

1. **MINUTES**

To approve as a correct record the minutes of the meeting of the Committee held on the 20 February 2025, a copy of which has been circulated previously.

2. **APOLOGIES FOR ABSENCE**

3. **DISCLOSABLE PECUNIARY INTERESTS AND OTHER REGISTERABLE INTERESTS**

To receive from Members any declarations of interests in relation to any items included on the agenda for this meeting required to be disclosed by the Localism Act 2011 and the Godalming Members' Code of Conduct.

The Comments and observations from the following Waverley Borough Councillors are preliminary ones prior to consideration at Borough Council level and are based on the evidence and representations to the Town Council.

Councillor PMA Rivers

4. PETITIONS/STATEMENTS/QUESTIONS FROM MEMBERS OF THE PUBLIC

The Chair to invite members of the public to make representations, ask or answer questions and give evidence in respect of the business on the agenda or other matters not on the agenda. This forum to be conducted in accordance with Standing Order 5:

- the period of time designated for public participation at a meeting for a maximum of three minutes per person or 15 minutes overall, unless otherwise directed by the Chair of the meeting;
- a question shall not require a response at the meeting nor start a debate on the question. The Chair of the meeting may direct that a written or oral response be given. If a matter raised is one for principal councils or other authorities, the person making representations will be informed of the appropriate contact details.

5. QUESTIONS BY MEMBERS

To consider any questions from Councillors in accordance with Standing Order 6.

6. CIL APPLICATION – BADEN HALL

Recommendations:

- a. The Environment & Planning Committee is requested to consider an application submitted on behalf of Farncombe Scouts & Brownies (FS&B) for a Neighbourhood Community Infrastructure Levy fund award of £134,188 in support of the refurbishment of Baden Hall.**
- b. If Members were minded to recommend an award to Full Council for the requested £134,188, it is suggested that the letter of offer should include the following additional conditions:**
 - i. The level of award is reduced by the amount of any funding received for this project from other external sources including the Your Fund Surrey or from the Community Foundation for Surrey.**
 - ii. Payments from Godalming Town Council (GTC) to the Baden Hall/FS&B account to be paid on receipt of the contractor's invoice. Godalming Town Council to fund 87% of each invoice submitted up to a total limit of £134,188. The Baden Hall /FS&B to fund the remaining 13% (equates to the £134,188/£20,000 split of the £154,188 project cost).**
 - iii. Baden Hall/FS&B are to acknowledge the funding support provided by GTC by way of a dedication plaque placed on the exterior elevation of the building facing Tottenham Road.**
 - iv. An information board/sign is to be displayed on the exterior elevation of the building facing Tottenham Road that provides information on how to hire the Baden Hall.**

Members will have noted the full Neighbourhood CIL application form submitted on behalf of Farncombe Scouts & Brownies (attached for the information of Members along with refurbishment plans and accounts provided with the application). A summary of the application is provided below:

Scouting is a highly popular pursuit in Surrey, with most groups having a lengthy waiting list. Farncombe is no different. Over 100 children benefit from the various Scouting and Guiding sections at different age groups that are homed at Baden Hall.

It goes without saying that parents want the facilities in which Scouting is performed to be of a decent standard, safe and accessible.

However, it must be said that Baden Hall is at a turning point in its state of decline. If some of the key issues are not soon arrested, in the medium term it is possible that it will signal the end of Scouting and Guiding in Farncombe. This would have an adverse impact on families who would benefit from this key activity of many young people's lives.

Due to development, Farncombe has suffered the loss of 3 community halls in the last 10 years:

- Lower Manor Road (now a nursery)
- St Johns St (now flats)
- The Red Cross Centre (now a nursery)

In addition, use of the Broadwater Youth & Community Centre is primarily restricted to weekend use.

It is believed a refurbished hall would allow it to be useable for a variety of activities from leisure fitness to children's parties and an accessible meeting place for community groups.

The applicant believes the hall could be made available for community use during the following times:

Weekdays 9am – 4pm

Weekends 9am – 8pm, with the exception of camp weekends when the hall is used for processing and loading/unloading equipment.

The applicant has identified proprietary software that will enable people to book, gain access and make payment with only administrative oversight and limited intervention necessary. This is critical when considering that the hall is run by volunteers with varying degrees of availability. The hiring of the hall will provide a revenue stream for the upkeep of the building, at a time where increasing costs make that burden more difficult to bear by Scouting and Guiding use alone.

The cost of refurbishing Baden Hall is a significant cost that Farncombe Scouts and Brownies are unlikely ever to be able to meet alone and that is the main motivation for asking for funding assistance.

7. PLANNING APPLICATIONS – CONSULTATION

Members to consider the following applications:

WA/2025/00309 - TANGLEWOOD 13 BRAEMAR CLOSE GODALMING GU7 1SA

Erection of extensions and alterations including link extension with alterations to garage/store to provide habitable accommodation; dormer extensions and installation of rooflights to provide habitable accommodation in roof space.

WA/2025/00301 - 48-56 HIGH STREET, GODALMING, GU7 1DY

Construction of second and third floor extensions to existing commercial building to provide 9 residential units with refuse and cycle storage and shared roof top amenity space; external alterations to commercial floors.

The full schedule of planning applications received from the Local Planning Authority since the last meeting is attached for the information of Members.

8. PLANNING APPLICATIONS – SUBJECTED TO AMENDMENT

Members to consider planning applications previously considered by this committee for which subsequent amendments have been submitted.

9. FARNCOMBE LOCAL STREET IMPROVEMENT EARLY ENGAGEMENT

Recommendation:

- a. **Members to note the Farncombe Local Street Improvement Early Engagement Report from Surrey County Council and if minded are asked to welcome its main suggestions for the implementation of 20mph zones, pedestrian crossings, and enhanced road safety, along with associated traffic calming measures and public realm improvements.**
- b. **Members to consider whether the Local Government Reorganisation (LGR) Task & Finish Group should be asked to establish a 'risk register' of known SCC and WBC infrastructure projects for the Godalming & Farncombe area that could be affected by the reorganisation of those Councils.**

Members will be aware that over the late Summer and Autumn of 2024 Surrey County Council held a number of events and opened consultation to engage the local community around options that could see street improvements around the Farncombe area. On 13 February Surrey County Council published a 34-page document highlighting the outcome of the engagement process. Members can read the [full report online](#). A summary of the main points of the [Surrey County Council Farncombe Local Street Improvements Early Engagement Report](#) is given below:

Executive Summary

- **Purpose:** The purpose of the report is to analyse early engagement findings and suggest potential solutions for the Farncombe Local Street Improvements (FLSI) scheme.
- **Goals:** The aim of the FLSI is to create safer, healthier, and more attractive local environments to encourage walking, wheeling, and riding.

Engagement Approach

- **Stakeholder Engagement:** Included residents, businesses, schools, and local organisations.
- **Methods:** Online surveys, in-person drop-in sessions, social media campaigns, and posters.
- **Participation:** Over 3,240 unique visitors to the Commonplace page, 754 survey responses, and 130+ attendees at drop-in sessions.

Key Findings

- **Issues Identified:**
 - High traffic speeds and busy road traffic.
 - Poor pedestrian infrastructure and parking issues.
 - Poor cycle infrastructure and road safety concerns.
- **Main Suggestions:**
 - Implement 20mph zones, improve pedestrian crossings, and enhance road safety.
 - Traffic calming measures and public realm improvements.

Next Steps

- **Feasibility Design:** Use feedback to shape initial design proposals.
- **Further Engagement:** Informal and formal consultations to refine designs and ensure community involvement.

Overall, the early engagement showed strong support for street improvements in Farncombe, with a focus on enhancing safety and accessibility for all users.

Specific Improvements:

i. Traffic Calming Measures:

- Implementing 20mph zones to reduce vehicle speeds.
- Installing speed bumps and other traffic calming features.

ii. Pedestrian Infrastructure Enhancements:

- Improving pedestrian crossings for safer road crossing.
- Adding more pavements and ensuring existing ones are well-maintained.

iii. Cycling Infrastructure:

- Creating dedicated cycle lanes to promote safer cycling.
- Providing secure bike parking facilities.

iv. Parking Management:

- Addressing parking issues by redesigning parking layouts.
- Introducing controlled parking zones to manage on-street parking.

v. Public Realm Improvements:

- Enhancing the overall streetscape with better lighting and street furniture.
- Adding greenery and public spaces to make the area more attractive.

Expected Benefits:

i. Enhanced Safety:

- Reduced vehicle speeds and safer crossings will lower the risk of accidents for pedestrians and cyclists.

ii. Improved Accessibility:

- Better pedestrian and cycling infrastructure will make it easier for people of all ages and abilities to navigate the area.

iii. Encouragement of Active Travel:

- Safer and more attractive streets will encourage walking, cycling, and other forms of active travel, promoting healthier lifestyles.

iv. Reduced Traffic Congestion:

- Traffic calming measures and better parking management can help reduce congestion and improve traffic flow.

v. Environmental Benefits:

- Increased walking and cycling can lead to lower vehicle emissions, contributing to better air quality and a healthier environment.

vi. Enhanced Community Spaces:

- Public realm improvements, such as better lighting and greenery, will create more pleasant and inviting public spaces for the community to enjoy.

These proposed improvements are aimed at creating a safer, more accessible, vibrant and pleasant environment for everyone in Farncombe.

Implementation Timeline:

i. Early Engagement (Completed):

- Conducted from 26 August to 6 October 2024.

ii. Feasibility Design (Current Stage):

- Using feedback from early engagement to develop initial design proposals.
- Expected to be completed in the coming months.

iii. Informal Engagement:

- Planned for mid-2025.
- Public feedback on feasibility designs will be gathered.

iv. Preliminary Design:

- Based on feedback from informal engagement.
- Expected to be completed by late 2025.

v. Formal Public Consultation:

- Planned for early 2026.
- Detailed construction-ready designs will be presented for final feedback.

vi. Final Design and Approval:

- Incorporating feedback from the formal consultation.
- Expected to be completed by mid-2026.

vii. Construction Phase:

- Scheduled to begin in late 2026.
- Duration will depend on the scope of the final approved designs.

This timeline ensures a collaborative and community-led approach throughout the design and implementation process.

Funding:

Initial Funding: Surrey County Council has allocated initial funding to develop design proposals for the project.

Additional Funding Bids: Further funding will be sought through bids to secure the necessary resources for the construction phase.

Project Risks:

Whilst funding discretionary projects is always at risk, the Local Government Reorganisation in Surrey (LGR) could add an additional layer of funding and delivery risk to this project.

It is suggested that this is a project GTC should be monitoring progress of over the next two years whilst SCC remains responsible for delivery. Additionally, Members might consider that GTC should be prepared to advocate the continuation of funding and delivery to the 'Shadow Unitary Authority' that, as current proposals suggest, will be elected for the Godalming and Farncombe area in May 2026.

Whilst the make-up of the future Unitary is yet to be agreed, it is likely that the 'Shadow Authority' will inherit the majority of the outstanding projects from SCC and the former Borough/District Councils of the new Unitary Authority. It is suggested that an important role for Godalming Town Council during the transition from County and Borough to Unitary and potentially Strategic governance arrangements, is to be the strong voice for Godalming and Farncombe to ensure such projects do not get lost, cut or defunded during the transition.

10. COMMUNICATIONS ARISING FROM THIS MEETING

Members to identify which matters (if any), discussed at this meeting, are to be publicised.

11. DATE OF NEXT MEETING

The next meeting of the Environment & Planning Committee is scheduled to take place in the Council Chamber on Thursday, 3 April 2025 at 6.30pm.

12. ANNOUNCEMENTS

Brought forward by permission of the Chair. Requests to be submitted prior to commencement of the meeting.



CIL FUNDING APPLICATION FORM

INTRODUCTION

Godalming Town Council receives 25% of money received through the Community Infrastructure Levy, collected by Waverley Borough Council (WBC) from development in Godalming. Any CIL monies due are confirmed by WBC at the end of 6 monthly periods ending in March and September and paid to Godalming Town Council shortly thereafter. The funds are available to spend on local projects in Godalming. As set out in the CIL Regulations, this local proportion of CIL should be used for:

- The provision, improvement, replacement, operation or maintenance of infrastructure; or
- Anything else that is concerned with addressing the demands that development places on an area

The definition of infrastructure is broad and includes amongst other items:

- Roads and other transport infrastructure
- Schools and other educational facilities
- Medical facilities
- Open spaces
- Sporting and recreational facilities
- Flood defences

Please read the Godalming Town Council CIL funding application form guidance notes before completing this form. To discuss a potential project, or for further guidance, please contact the Town Clerk at townclerk@godalming-tc.gov.uk.

Please note that if an external organisation has been granted CIL funds for a project it may not apply for further CIL funding, regardless of the project, until twelve months have elapsed since the previous award was granted.

CIL applications will be validated by Council Officers prior to consideration by the Environment & Planning Committee, applications accepted by the Environment & Planning Committee will be forwarded to the Full Council for further consideration and prioritising against available and anticipated funds.

Completed application forms and supporting information should be returned to: office@godalming-tc.gov.uk

Please note that to prevent duplication of effort, if an organisation is also applying for Strategic CIL from Waverley Borough Council for the same project as they wish to request Neighbourhood CIL, then Godalming Town Council will accept an initial application for Neighbourhood CIL funds using the Waverley Borough Council CIL application form.

Linked Document: [CIL Policy and Funding Application Form Guide for Applicants](#)



Supporting Our Community

CIL FUNDING APPLICATION FORM

1. Applicant organisation	Baden Hall Management Committee, acting on behalf of Farncombe Scouts, Farncombe Brownies
2. Name and position of main contact	Justin Langshaw – Chairman of 1 st Farncombe Scouts
3. Applicant contact details (phone no, email and address)	07974 197037 justin@stampdesign.co.uk Flat 6, Drapers Place, 17 Owen Road, Farncombe, GU7 3FL
4. Type of organisation If a charity, please provide registration number	Farncombe Scouts and Brownies, Registered Charity Number 273016
5. Is the organisation able to reclaim VAT?	No
6. Location of project	Baden hall 8 Tottenham Road Farncombe GU7 2HT
7. Summary of the project proposal	<p>Refurbishment and updating of Baden hall, including:</p> <ul style="list-style-type: none"> - New ceiling linings, including insulation where possible - Removal of debonded plaster, replaster - New wall linings including new wainscotting, Skirting and beading as existing existing - Formation of new DDA WC - Rewiring of main hall and lower hall - Timber storage mezzanine - New fire alarm system, - Formation of new walk in storage - Redecoration throughout - Replacement of broken double glazed units - New flooring of lower hall - Sanding and refinishing of main hall floor - New compass line markings on main hall floor - New energy efficient lighting - New side door

	<ul style="list-style-type: none"> - Refurbishment of front door joinery to provide level access and rescue important historical feature before it deteriorates further - Drawings can be provided for review 															
8. Estimated project cost	£154,188.00 including VAT and a 15% contingency, which we are advised is important in buildings of this age.															
9. Please show in the table the amount of CIL funding being sought and any other contributions that may have been allocated for this scheme																
	<table border="1"> <thead> <tr> <th></th><th>Amount</th><th>Detail</th></tr> </thead> <tbody> <tr> <td>CIL funding sought</td><td>£134,188.00</td><td></td></tr> <tr> <td>Any other Local authority contribution eg EBC and/or SCC</td><td>None</td><td></td></tr> <tr> <td>Third party contribution</td><td>£20,000 From hall committee reserve fund.</td><td></td></tr> <tr> <td>Total cost</td><td>£154,188.00</td><td></td></tr> </tbody> </table>		Amount	Detail	CIL funding sought	£134,188.00		Any other Local authority contribution eg EBC and/or SCC	None		Third party contribution	£20,000 From hall committee reserve fund.		Total cost	£154,188.00	
	Amount	Detail														
CIL funding sought	£134,188.00															
Any other Local authority contribution eg EBC and/or SCC	None															
Third party contribution	£20,000 From hall committee reserve fund.															
Total cost	£154,188.00															
10. Detail of additional sources of funding available	We have received positive feedback from Community Foundation for Surrey and will be invited to make an application for up to £10,000 when the applications open later in the year.															
11. Why is CIL funding being sought? Please provide details of sources of funding already considered or applications made for funding	<p>National Lottery Heritage Funding was secured previously for the kitchen and WC refurbishment</p> <p>Peter Caudle Trust has now entered probate following the passing of Peters wife.</p> <p>Surrey Scouts & Godalming District Scouts have confirmed no contribution on the grounds of budget constraints.</p>															

<p>12. Please indicate whether the organisation has previously received CIL or other funding sources from either Godalming Town Council and/or Waverley Borough Council. If yes, provide amounts and timings</p>	<p>None as far as we are aware</p>
<p>13. How does the project help address the demands of development in the area. What evidence is there to support this?</p>	<p>Farncombe has suffered the loss of 3 community halls in the last 10 years: Lower Manor Road (now a nursery) St Johns St (now flats) The Red Cross Centre (now a nursery) In addition, community facilities at Broadwater are now restricted for similar reasons. We believe that by refurbishing the hall, we will be able to make it available for hire for a variety of uses from leisure fitness, to children's parties and a well-equipped, accessible meeting place for community groups.</p> <p>We believe the hall could be made available Weekdays 9am – 4pm Weekends 9am – 8pm, with the exception of camp weekends when the hall is used for processing and loading/unloading equipment</p> <p>We have identified proprietary software that will enable people to book, gain access and make payment with only administrative oversight and limited intervention necessary. This is critical when we are considering that our personnel are all volunteers with varying degrees of availability, and we feel we can overcome these issues quite easily.</p> <p>This is mutually beneficial, as it will also provide a revenue stream for the upkeep of the building, at a time where increasing costs make that burden more difficult to bear</p>

<p>14. What evidence is there of support from the community</p>	<p>Scouting is a highly popular pursuit in Surrey, with most groups having a lengthy waiting list. Farncombe is no different. Over 100 children benefit from the various Scouting and Guiding sections at different age groups that are homed at Baden Hall.</p> <p>It goes without saying that parents want the facilities in which Scouting is performed to be of a decent standard, safe and accessible.</p> <p>Some of the problems that need addressing (and will be solved by the refurb) are potentially dangerous if left unattended to, so support for them being corrected is tacit to some degree.</p> <p>We have anecdotal feedback from Pilates and functional fitness instructors that they would make use of the hall as a good location to bring their services to Farncombe. We await their letters of support (as promised)</p> <p>It must be said also, that the hall is at a turning point in its state of decline. If some of the key issues are not soon arrested, in the medium term it is possible that it will signal the end of Scouting and Guiding in Farncombe, which will impact all of the families that currently benefit, and on that basis alone I feel we could rely on their support, and the support of future families that would benefit from this key part of young peoples lives.</p> <p>It is a significant cost we are unlikely to be able to meet alone, and that is the main motivation for asking for funding assistance.</p>
<p>15. Proposed timescales for the project</p>	<p>We would expect to nominate a contractor upon receipt of funding, as we have received detailed competitive tenders that have been reviewed, and our favoured contract is a local business.</p> <p>If possible we would like to program the works for the school summer holidays of 2025 when the sections also take a break, however this could be amended depending upon the timetable for decision making.</p> <p>The sections have been required to seek alternative temporary accommodation for various reasons in the past, and this could be investigated again rather than slow down the pace of progress.</p>
<p>16. Is there a related revenue spend (i.e. day-to-day running costs) associated with the project? How will this be addressed?</p>	<p>No, there are no costs we would be unable to meet or account for during the period of development</p>
<p>17. If the organisation is not in the public sector please provide details of the organisation's finances</p>	<p>Audited accounts are provided, including details of unrestricted funds.</p>

Please include a copy of the most recently audited accounts, including details of unrestricted reserves	
18. Do you need planning permission to carry out the works?	No
19. If planning permission is required is it in place to carry out the works? If so, please provide the application number	Not Applicable.

Section E: Declaration

When you have completed the application, please sign this declaration and submit the application form as directed.

To the best of my knowledge the information I have provided on this application form is correct.

If Godalming Town Council agrees to release funds for the specified project, these funds will be used exclusively for the purposes described. In such an event, I agree to inform Godalming Town Council via the Town Clerk of any material changes to the proposals set out above. When requested, I agree to provide Godalming Town Council with all necessary information required for the purposes of reporting on the progress or otherwise of the identified project. I recognise Godalming Town Council's statutory rights as the designated provider of these CIL funds, which includes provisions to reclaim unspent or misappropriated funds.

Privacy Notice: By signing this form, the applicant agrees to Godalming Town Council checking all supplied information for the purposes of informing decision making. The information on this form will be stored in the Town Council's filing system and summarised in the Council's accounting system for the sole purpose of fund processing, analysis and accounting. Information about the project may be publicised on Godalming Town Council's website and in public material for publicity purposes. Personal data will not be disclosed without prior agreement of those concerned, unless required by law. For further information on the Council's privacy policy, please see: <https://godalming-tc.gov.uk/data-protection/>

Signed: _____

Organisation: _____

Date: _____

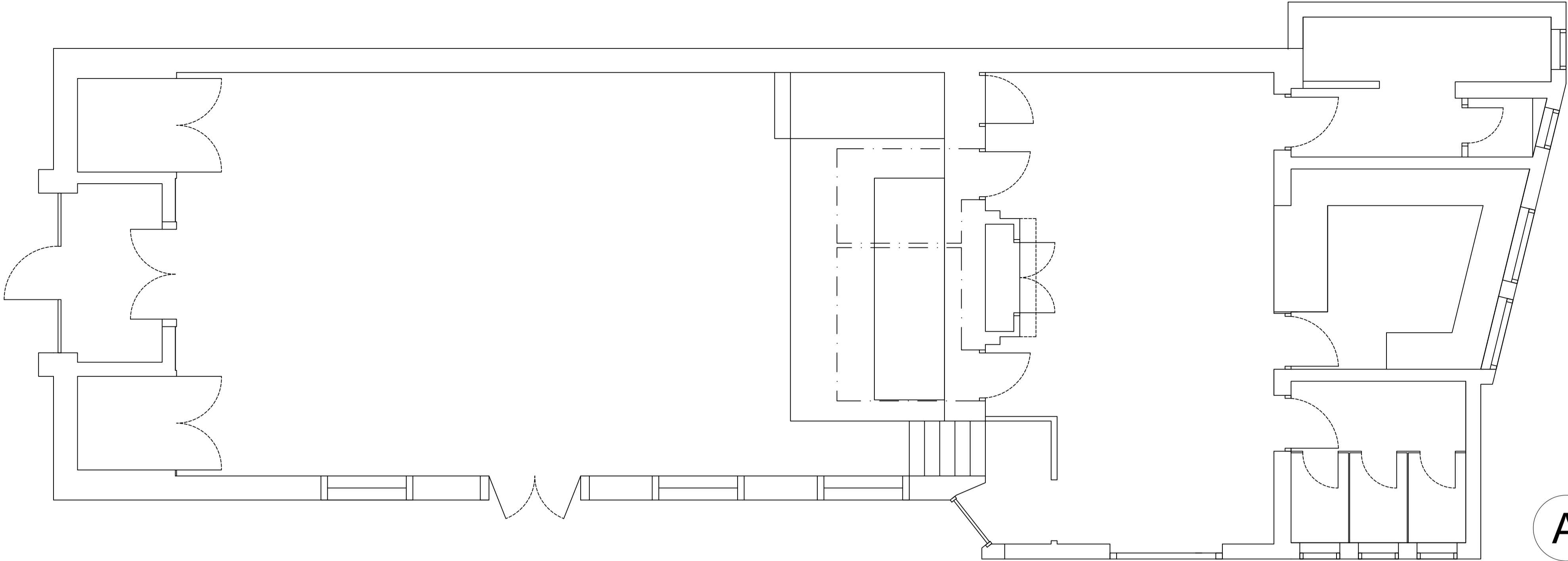
All organisations involved with the application will need to sign and date the form.

Signed: _____

Organisation: _____

Date: _____

EXISTING BUILD



A EXISTING BUILD
SCALE 1:50 @A1

ALL WALLS, FLOORING, CEILING AND FURNITURE TO ACHIEVE A MINIMUM CLASS 0 SPREAD OF FLAME OR EQUIVALENT.

ALL WALLS AND DOORS TO BE MINIMUM FR30

FOR DESIGN INTENT ONLY.

PLEASE NOTE:
ALL LIGHTING AND ILLUMINATED SIGNAGE TO BE DIMMABLE.

LIGHTING SYSTEMS TO COMPLY WITH PART L2 - LAMPS AND CONTROLS ARE HIGH EFFICACY AND TYPE OF AUTOMATIC CONTROL PRESENCE DETECTORS.

PLEASE NOTE:
- PRINCIPLE CONTRACTOR TO ENSURE FIRE EXIT SIGNAGE ARE EDGE-LIT GLASS & THAT THE SIGN SERVING IN THE MAIN ENTRANCE DOORS SHOWS ONLY THE DIRECTION OF ESCAPE FROM THE UNIT INTO THE CAR PARK AND THE REVERSE SIDE OF THE SIGN, AS SEEN FROM THE CAR PARK, IS BLANK.

- EMERGENCY LIGHTS TO HAVE 3-HOUR BATTERY POWERED AND INTEGRAL TO NORMAL LIGHT FITTINGS. BULKHEAD EMERGENCY LIGHTS IN SALES AREA ARE NOT PERMITTED.

- PROVISION OF ESCAPE LIGHTING TO BS5266 - EMERGENCY LIGHTING, PART 1: 2005. LIGHT LEVELS TO BE DEMONSTRATED TO SITE TO AN OFFICER OF THIS AUTHORITY.

- LIGHTING AND ILLUMINATED SIGNAGE IN THE SHOP & SHOP FRONT IS ON A TIMER TO KEEP LIGHTS ON DURING THE FOLLOWING MINIMUM PERIOD:
MONDAY - SUNDAY 7:00 - 22:00 HRS.

SCOPE OF WORKS		
CODE	WORKS	APPROX SIZE IF KNOW
SC01	NEW CEILING LININGS, INCLUDING INSULATION WHERE POSSIBLE, IN THE MAIN HALL	100 M ²
SC02	STRIP BACK WALL PLASTER AS IT IS DEBONDED. REPLASTER OR LINE WALLS WITH PLASTERBOARD. (SEAL WALLS) (MAIN HALL)	46 M ²
SC03	REPLACE WAINSCOTING AND BEADING TO EXISTING PROFILE OF PANELLING IN MAIN HALL	23 M (LENGTH OF PANELLING)
SC04	FORMATION OF NEW DDA WC IN MAIN HALL. CONTRACTOR TO PICK UP DIRECT ROUTE TO MANHOLE IN STREET	3.4 M ²
SC05	REWIRE. (EXCLUDING KITCHEN AND WCS). INCLUDES 7NO. DOUBLE SOCKETS IN MAIN HALL AND 4NO. DOUBLE SOCKETS IN LOWER HALL	
SC06	STORAGE MEZZANINE IN LOWER HALL ACCESSIBLE BY LADDER	12 M ²
SC07	NEW FIRE ALARM SYSTEM	
SC08	NEW LED MODULES IN MAIN HALL AND LOWER HALL	9NO. (1 ALREADY INSTALLED ON SITE)
SC09	FORMATION OF WALK-IN-STORAGE FOR FLAT FOLDING CHAIRS IN MAIN HALL	
SC10	REDECORATION THROUGHOUT (E.G. PAINTING INSIDE & OUT)	
SC11	2NO REPLACEMENT OF BROKEN DOUBLE GLAZED UNITS	
SC12	NEW FLOORING IN LOWER HALL, REFINISH WOOD FLOORING IN MAIN HALL AND REPAINT COMPASS ON FLOOR	LOWER HALL: 38 M ²
SC13	NEW SIDE DOOR TO ENTRANCE AT END OF PATH, WITH KEY CODE LOCK AND YALE LOCK TO INTERIOR. NEW DOORS TO SIDE ELEVATION.	
SC14	NEW SLOPED ACCESS TO SIDE ENTRANCE	
SC15	REDECORATE FRONTAGE WITH NEW HAND PAINTED SIGNAGE	
SC16	HEATING TO STAY AS CURRENT	
SC17	KEEP STORAGE ON STAGE AND REDECORATE (MAIN HALL)	

BUILDER AND / OR SUB-CONTRACTORS SHALL VERIFY ALL PROJECT DIMENSIONS BEFORE COMMENCING ON-SITE OR OFF-SITE FABRICATIONS FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING IS COPYRIGHT AND CANNOT BE REPRODUCED IN WHOLE OR IN PART OR BY ANY MEDIUM WITHOUT THE WRITTEN PERMISSION OF STAMP DESIGN. NO WARRANTY IS OFFERED OR IMPLIED ON THE CONTENT OF THESE DRAWINGS. CLIENT AND CONTRACTOR SHOULD SATISFY THEMSELVES THAT THE DESIGN INTENT AS INDICATED IS SUITABLE IN TERMS OF FUNCTION AND FEASIBILITY. GUIDANCE SHOULD BE SOUGHT FROM THE LANDLORDS RETAINED ARCHITECT, STRUCTURAL ENGINEERS AND PROJECT TEAM AS TO THE FEASIBILITY OF DESIGN INTENT CONTAINED HEREIN. THE LANDLORDS AGENTS WILL BE RESPONSIBLE IN ALL CASES FOR ENSURING ADEQUATE PROVISION OF DESIGN INFORMATION, AND SIGN OFF OF DESIGN INTENT HEREIN. NO STRUCTURAL DESIGN HAS TAKEN PLACE. SHOULD STRUCTURAL DESIGN BE REQUIRED, THIS MUST BE COMMISSIONED AND SIGNED OFF BY AN INDEPENDENT STRUCTURAL ENGINEER IN ALL CASES. NO GUIDANCE OR WARRANTY AS TO THE STRUCTURAL SUITABILITY OF ANY WORK CONTAINED HEREIN IS OFFERED OR IMPLIED.
IF IN DOUBT, ASK!



8 TOTTENHAM ROAD,
FARNCOMBE
GODALMING
GU7 2HT

STAMP

123A Borough High Street
London
SE1 1NP
www.stampdesign.co.uk

title
SUMMARY OF SCOPE

scale drawn
1:50 @A1 AML

drawing no.
STA.Scouts.BADENHALL.SCOO

DIMENSIONS TO BE
RECHECKED ON STRIP-OUT

ALL WALLS, FLOORING, CEILING AND FURNITURE TO
ACHIEVE A MINIMUM CLASS 0 SPREAD OF FLAME OR
EQUIVALENT.

ALL WALLS AND DOORS TO BE MINIMUM FR30

FOR DESIGN INTENT ONLY.

PLEASE NOTE:
ALL LIGHTING AND ILLUMINATED SIGNAGE TO BE
DIMMABLE.

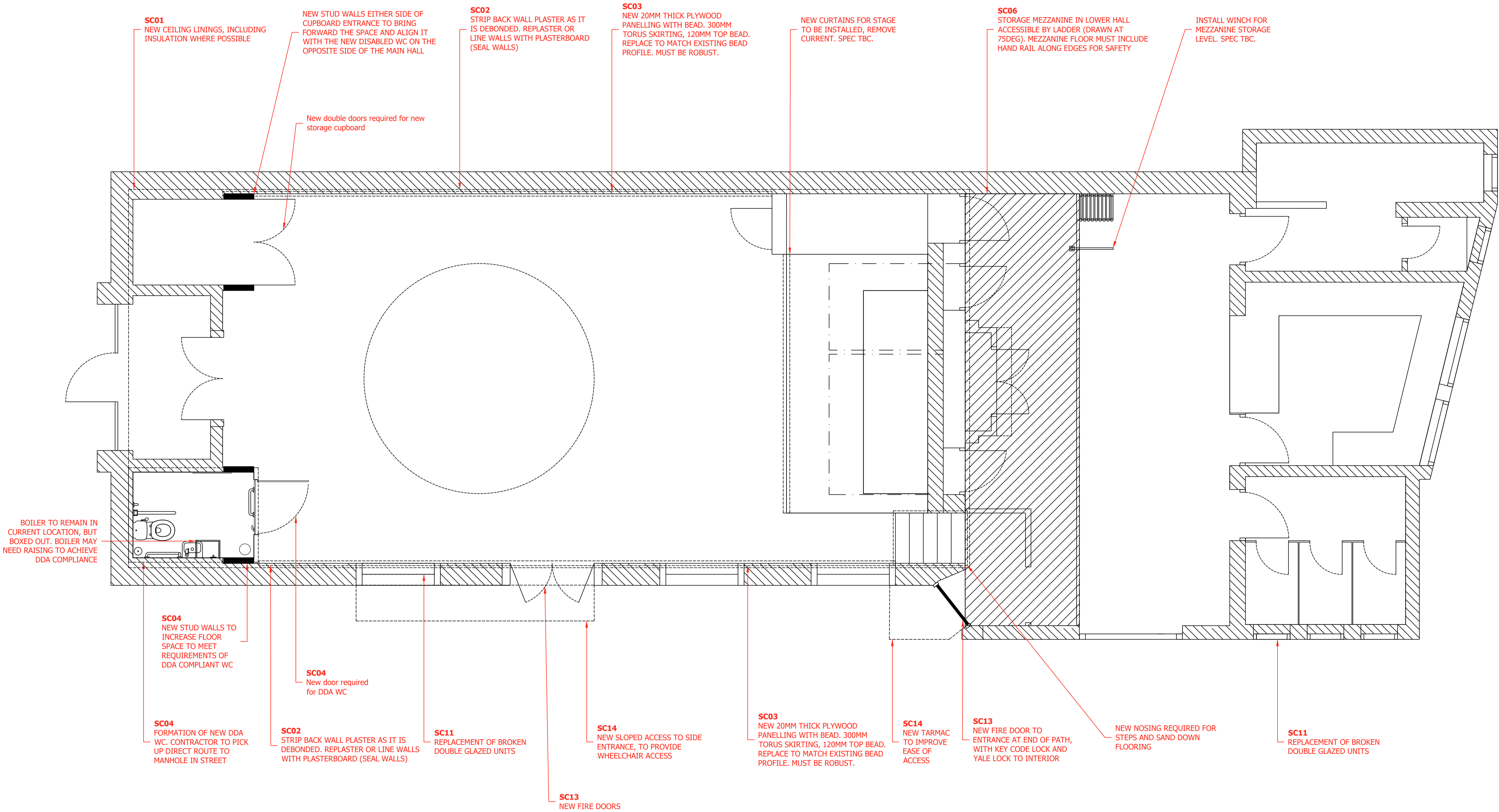
LIGHTING SYSTEMS TO COMPLY WITH PART L2 - LAMPS
AND CONTROLS ARE HIGH EFFICACY AND TYPE OF
AUTOMATIC CONTROL PRESENCE DETECTORS.

PLEASE NOTE:
- PRINCIPLE CONTRACTOR TO ENSURE FIRE EXIT
SIGNAGE ARE EDGE-LIT GLASS & THAT THE SIGN
SERVING IN THE MAIN ENTRANCE DOORS SHOWS
ONLY THE DIRECTION OF ESCAPE FROM THE UNIT
INTO THE CAR PARK AND THE REVERSE SIDE OF THE
SIGN, AS SEEN FROM THE CAR PARK, IS BLANK.

- EMERGENCY LIGHTS TO HAVE 3-HOUR BATTERY
POWERED AND INTEGRAL TO NORMAL LIGHT FITTINGS.
BULKHEAD EMERGENCY LIGHTS IN SALES AREA ARE
NOT PERMITTED.

- PROVISION OF ESCAPE LIGHTING TO BS5266 -
EMERGENCY LIGHTING, PART 1: 2005. LIGHT LEVELS
TO BE DEMONSTRATED TO SITE TO AN OFFICER OF
THIS AUTHORITY.

- LIGHTING AND ILLUMINATED SIGNAGE IN THE SHOP
& SHOP FRONT IS ON A TIMER TO KEEP LIGHTS ON
DURING THE FOLLOWING MINIMUM PERIOD:
MONDAY - SUNDAY 7:00 - 22:00 HRS.



A	ISSUED FOR INFORMATION	24.01.24
issue	description	date

BUILDER AND / OR SUB-CONTRACTORS SHALL VERIFY ALL PROJECT DIMENSIONS BEFORE COMMENCING ON-SITE OR OFF-SITE FABRICATIONS FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING IS COPYRIGHT AND CANNOT BE REPRODUCED IN WHOLE OR IN PART OR BY ANY MEDIUM WITHOUT THE WRITTEN PERMISSION OF STAMP DESIGN. NO WARRANTY IS OFFERED OR IMPLIED ON THE CONTENT OF THESE DRAWINGS. CLIENT AND CONTRACTOR SHOULD SATISFY THEMSELVES THAT THE DESIGN INTENT AS INDICATED IS SUITABLE IN TERMS OF FUNCTION AND FEASIBILITY. GUIDANCE SHOULD BE SOUGHT FROM THE LANDLORDS RETAINED ARCHITECT, STRUCTURAL ENGINEERS AND PROJECT TEAM AS TO THE FEASIBILITY OF DESIGN INTENT CONTAINED HEREIN. THE LANDLORDS AGENTS WILL BE RESPONSIBLE IN ALL CASES FOR ENSURING ADEQUATE PROVISION OF DESIGN INFORMATION, AND SIGN OFF OF DESIGN INTENT HEREIN. NO STRUCTURAL DESIGN HAS TAKEN PLACE. SHOULD STRUCTURAL DESIGN BE REQUIRED, THIS MUST BE COMMISSIONED AND SIGNED OFF BY AN INDEPENDENT STRUCTURAL ENGINEER IN ALL CASES. NO GUIDANCE OR WARRANTY AS TO THE STRUCTURAL SUITABILITY OF ANY WORK CONTAINED HEREIN IS OFFERED OR IMPLIED.

IF IN DOUBT, ASK!

Scouts

8 TOTTENHAM ROAD,
FARNCOMBE
GODALMING
GU7 2HT

STAMP

123A Borough High Street
London
SE1 1NP
www.stampdesign.co.uk

title
DEMOLITION AND BUILD
PLAN

scale
1:40 @A1

drawn
AML

drawing no.
STA.Scouts.BADENHALL.DB00

A DB PLAN
SCALE 1:40 @A1

DIMENSIONS TO BE RECHECKED ON STRIP-OUT

ALL WALLS, FLOORING, CEILING AND FURNITURE TO ACHIEVE A MINIMUM CLASS 0 SPREAD OF FLAME OR EQUIVALENT.

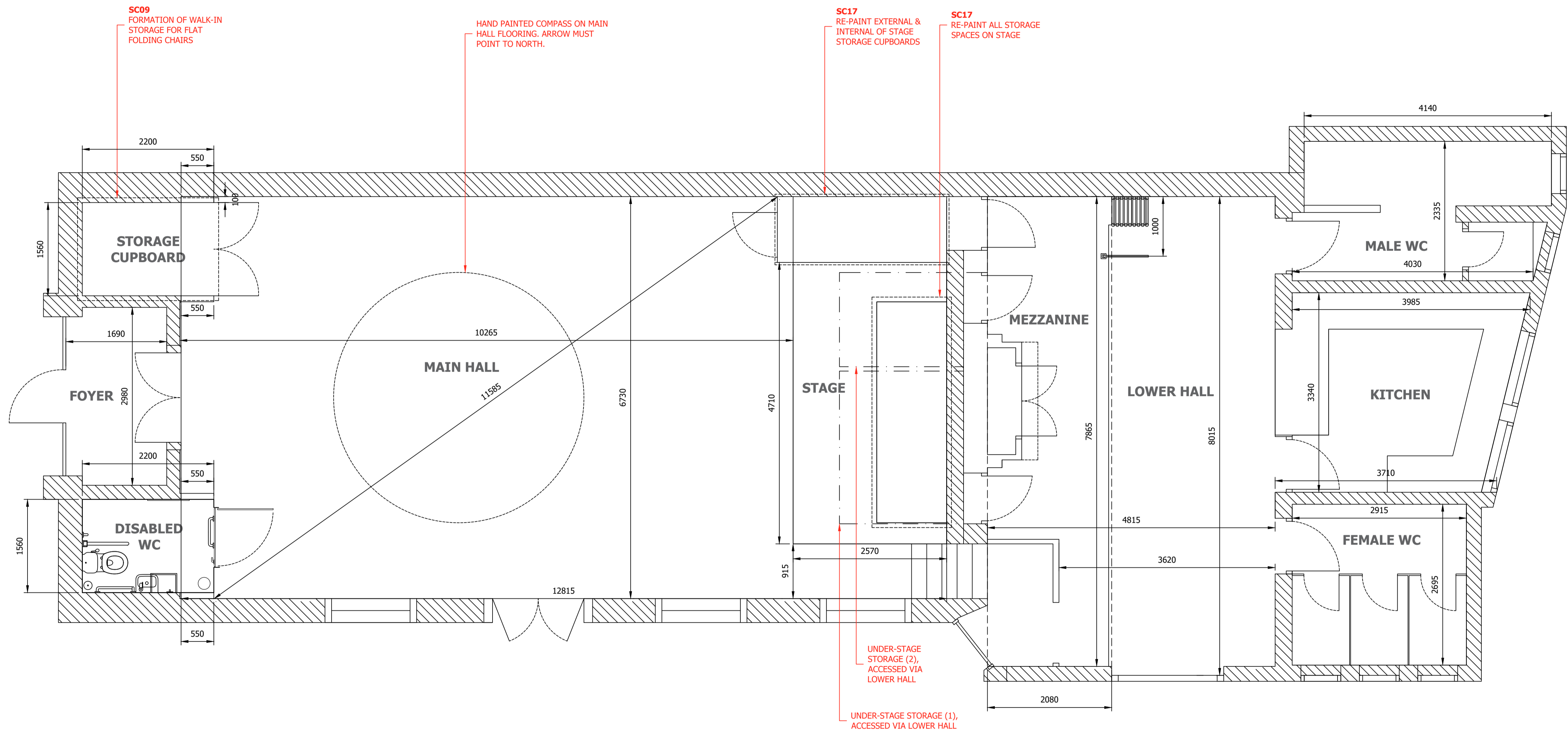
ALL WALLS AND DOORS TO BE MINIMUM FR30

FOR DESIGN INTENT ONLY.

PLEASE NOTE:
ALL LIGHTING AND ILLUMINATED SIGNAGE TO BE
DIMMABLE.

LIGHTING SYSTEMS TO COMPLY WITH PART L2 - LAMPS
AND CONTROLS ARE HIGH EFFICACY AND TYPE OF
AUTOMATIC CONTROL PRESENCE DETECTORS.

- PLEASE NOTE:
 - PRINCIPLE CONTRACTOR TO ENSURE FIRE EXIT SIGNAGE ARE EDGE-LIT GLASS & THAT THE SIGN SERVING IN THE MAIN ENTRANCE DOORS SHOWS ONLY THE DIRECTION OF ESCAPE FROM THE UNIT INTO THE CAR PARK AND THE REVERSE SIDE OF THE SIGN, AS SEEN FROM THE CAR PARK, IS BLANK.
- EMERGENCY LIGHTS TO HAVE 3-HOUR BATTERY POWERED AND INTEGRAL TO NORMAL LIGHT FITTINGS. BULKHEAD EMERGENCY LIGHTS IN SALES AREA ARE NOT PERMITTED.
- PROVISION OF ESCAPE LIGHTING TO BS5266 - EMERGENCY LIGHTING, PART 1: 2005. LIGHT LEVELS TO BE DEMONSTRATED TO SITE ON AN OFFICER OF THIS AUTHORITY.
- LIGHTING AND ILLUMINATED SIGNAGE IN THE SHOP & SHOP FRONT IS ON A TIMER TO KEEP LIGHTS ON DURING THE FOLLOWING MINIMUM PERIOD:
MONDAY - DAY 7:00 - 22:00 HRS.



A	ISSUED FOR INFORMATION	24.01.24
issue	description	date

BUILDER AND / OR SUB-CONTRACTORS SHALL VERIFY ALL PROJECT DIMENSIONS BEFORE COMMENCING ON-SITE OR OFF-SITE FABRICATIONS FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING IS COPYRIGHT AND CANNOT BE REPRODUCED IN WHOLE OR IN PART OR BY ANY MEDIUM WITHOUT THE WRITTEN PERMISSION OF STAMP DESIGN. NO VALUE OR LIABILITY OR IMPLIED ON THE CONTENT OF THESE DRAWINGS. CLIENT AND CONTRACTOR SHOULD SATISFY THEMSELVES THAT THE DESIGN INTENT AS INDICATED IS SUITABLE IN TERMS OF FUNCTION AND FEASIBILITY. GUIDANCE SHOULD BE SOUGHT FROM THE LANDLORDS RETAINED ARCHITECT, STRUCTURAL ENGINEERS AND PROJECT TEAM AS TO THE FEASIBILITY OF DESIGN INTENT CONTAINED HEREIN.

THE LANDLORDS AGENTS WILL BE RESPONSIBLE IN ALL CASES FOR ENSURING ADEQUATE PROVISION OF DESIGN INFORMATION, AND SIGN OFF OF DESIGN INTENT HEREIN.

THE DESIGN OF DESIGN INTENT HAS TO BE PLACED. SHOULD STRUCTURAL DESIGN BE REQUIRED, THIS WILL BE COMMISSIONED AND SIGNED OFF BY AN INDEPENDENT STRUCTURAL ENGINEER IN ALL CASES. NO GUIDANCE OR WARRANTY AS TO THE STRUCTURAL SUITABILITY OF ANY WORK CONTAINED HEREIN IS OFFERED OR IMPLIED.

IF IN DOUBT, ASK!



8 TOTTENHAM ROAD,
FARNCOMBE
GODALMING
GU7 2HT

STAMP

123A Borough High Street
London
SE1 1NP
www.stampdesign.co.uk

title

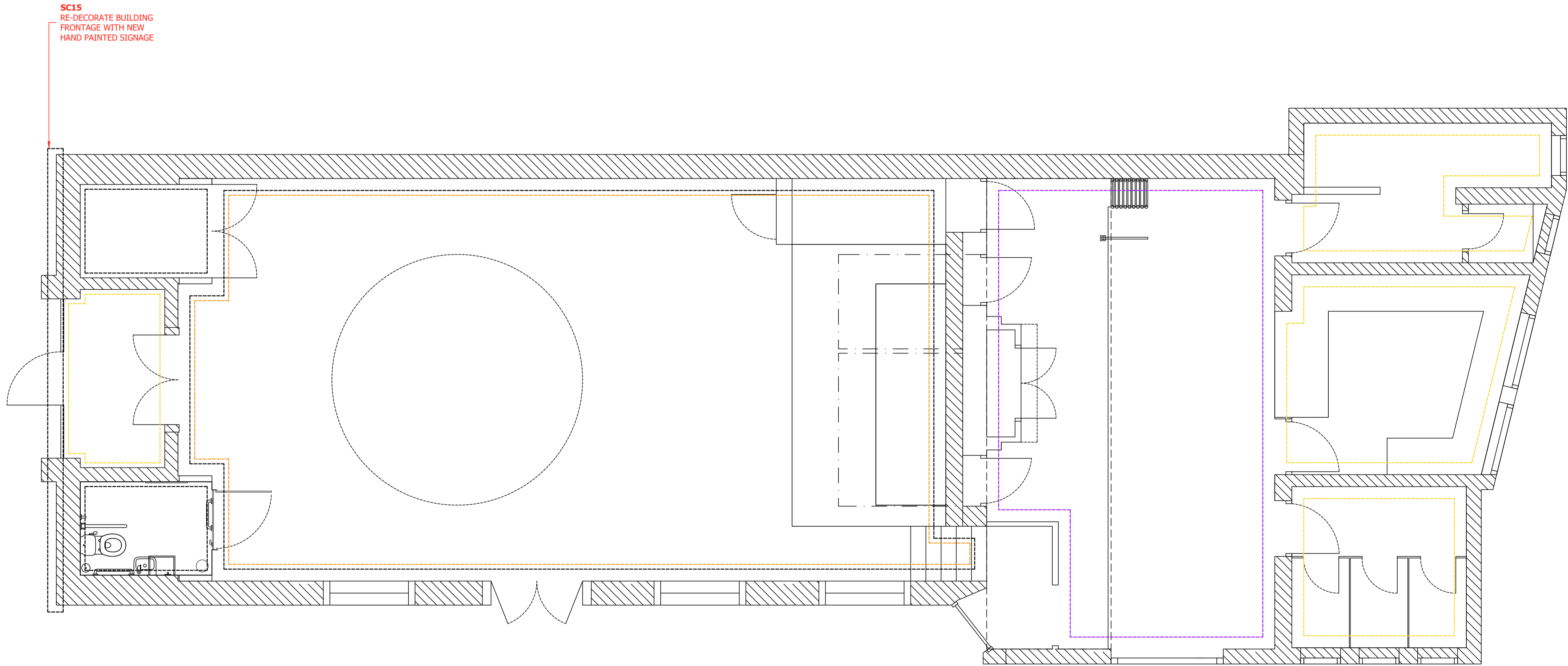
GENERAL ARRANGEMENT
PLAN

scale	drawn
1:40 @A1	AML
drawing no.	

STA.SCOOTS.BADENHALL.GA00

A GA PLAN
SCALE 1: 50 @A1

DIMENSIONS TO BE
RECHECKED ON STRIP-OUT



ALL WALLS, FLOORING, CEILING AND FURNITURE TO ACHIEVE A MINIMUM CLASS 0 SPREAD OF FLAME OR EQUIVALENT.

ALL WALLS AND DOORS TO BE MINIMUM FR30

FOR DESIGN INTENT ONLY.

PLEASE NOTE:
ALL LIGHTING AND ILLUMINATED SIGNAGE TO BE DIMMABLE.

LIGHTING SYSTEMS TO COMPLY WITH PART L2 - LAMPS AND CONTROLS ARE HIGH EFFICACY AND TYPE OF AUTOMATIC CONTROL PRESENCE DETECTORS.

PLEASE NOTE:
- PRINCIPLE CONTRACTOR TO ENSURE FIRE EXIT SIGNAGE ARE EDGE-LIT GLASS & THAT THE SIGN SERVING IN THE MAIN ENTRANCE DOORS SHOWS ONLY THE DIRECTION OF ESCAPE FROM THE UNIT INTO THE CAR PARK AND THE REVERSE SIDE OF THE SIGN, AS SEEN FROM THE CAR PARK, IS BLANK.

- EMERGENCY LIGHTS TO HAVE 3-HOUR BATTERY POWERED AND INTEGRAL TO NORMAL LIGHT FITTINGS. BULKHEAD EMERGENCY LIGHTS IN SALES AREA ARE NOT PERMITTED.

- PROVISION OF ESCAPE LIGHTING TO BS5266 - EMERGENCY LIGHTING, PART 1: 2005. LIGHT LEVELS TO BE DEMONSTRATED TO SITE TO AN OFFICER OF THIS AUTHORITY.

- LIGHTING AND ILLUMINATED SIGNAGE IN THE SHOP & SHOP FRONT IS ON A TIMER TO KEEP LIGHTS ON DURING THE FOLLOWING MINIMUM PERIOD:
MONDAY - SUNDAY 7:00 - 22:00 HRS.

A	ISSUED FOR INFORMATION	24.01.24
issue	description	date

BUILDER AND / OR SUB-CONTRACTORS SHALL VERIFY ALL PROJECT DIMENSIONS BEFORE COMMENCING ON-SITE OR OFF-SITE FABRICATIONS FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING IS COPYRIGHT AND CANNOT BE REPRODUCED IN WHOLE OR IN PART OR BY ANY MEDIUM WITHOUT THE WRITTEN PERMISSION OF STAMP DESIGN. NO WARRANTY IS OFFERED OR IMPLIED ON THE CONTENT OF THESE DRAWINGS. CLIENT AND CONTRACTOR SHOULD SATISFY THEMSELVES THAT THE DESIGN INTENT AS INDICATED IS SUITABLE IN TERMS OF FUNCTION AND FEASIBILITY. GUIDANCE SHOULD BE SOUGHT FROM THE LANDLORDS RETAINED ARCHITECT, STRUCTURAL ENGINEERS AND PROJECT TEAM AS TO THE FEASIBILITY OF DESIGN INTENT CONTAINED HEREIN. THE LANDLORDS AGENTS WILL BE RESPONSIBLE IN ALL CASES FOR ENSURING ADEQUATE PROVISION OF DESIGN INFORMATION, AND SIGN OFF OF DESIGN INTENT HEREIN. NO STRUCTURAL DESIGN HAS TAKEN PLACE. SHOULD STRUCTURAL DESIGN BE REQUIRED, THIS MUST BE COMMISSIONED AND SIGNED OFF BY AN INDEPENDENT STRUCTURAL ENGINEER IN ALL CASES. NO GUIDANCE OR WARRANTY AS TO THE STRUCTURAL SUITABILITY OF ANY WORK CONTAINED HEREIN IS OFFERED OR IMPLIED.

IF IN DOUBT, ASK!



8 TOTTENHAM ROAD,
FARNCOMBE
GODALMING
GU7 2HT

STAMP

123A Borough High Street
London
SE1 1NP
www.stampdesign.co.uk

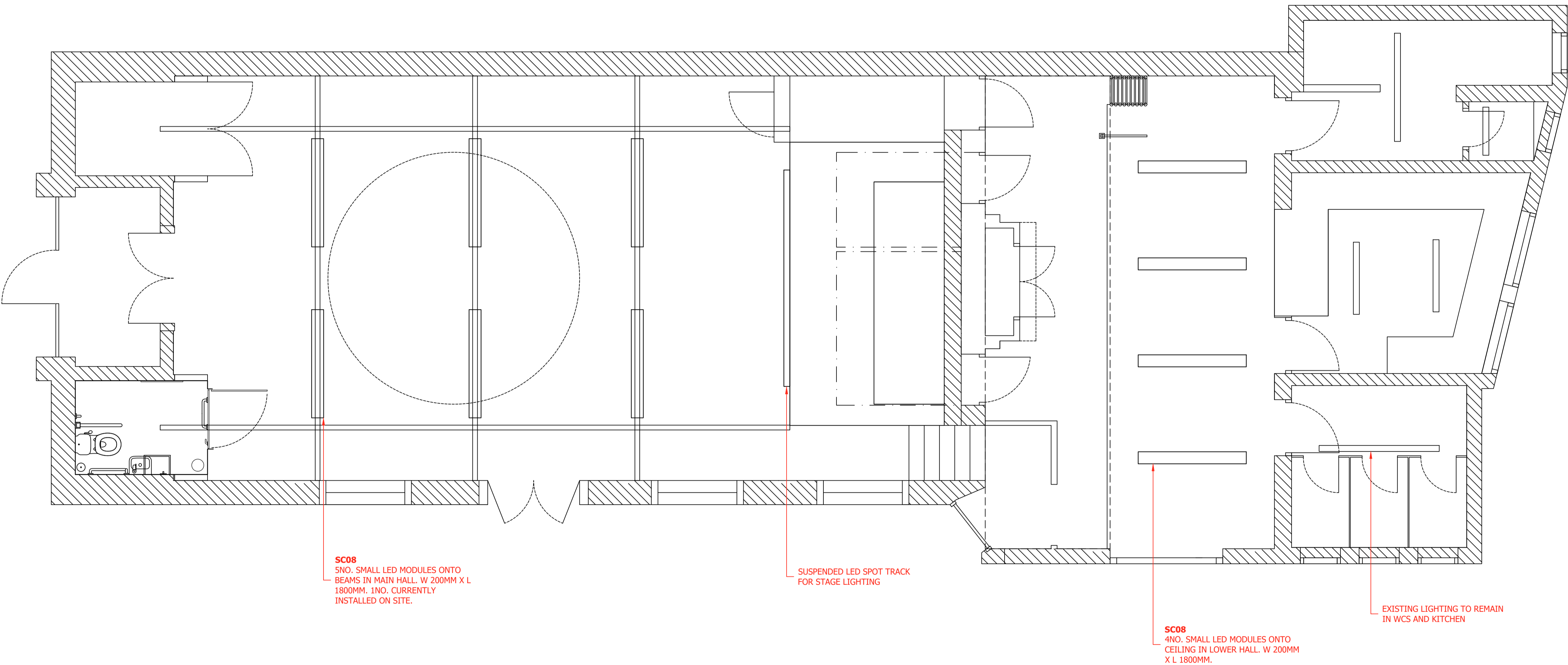
title
FINISHES PLAN

scale drawn
1:40 @A1 AML

drawing no.
STA.Scouts.BADENHALL.FIN00

WALL FINISHES			
ITEM NO:	DESCRIPTION		SUPPLIER
P01	-----	FOYER, KITCHEN, MALE WC, FEMALE WC: DULUX BRILLIANT WHITE MATT DURABLE	CONTRACTOR TBC
P02	-----	LOWER HALL WALL PAINT TBC	CONTRACTOR TBC
P03	-----	MAIN HALL WALL PAINT TBC	CONTRACTOR TBC
P04	-----	MAIN HALL PLYWOOD PANELLING FINISH TBC	CONTRACTOR TBC
P05	-----	NEW STORAGE CUPBOARD PAINT COLOUR TBC	CONTRACTOR TBC
P06	-----	DISABLED WC WALL PAINT COLOUR TBC	CONTRACTOR TBC

DIMENSIONS TO BE
RECHECKED ON STRIP-OUT



ALL WALLS, FLOORING, CEILING AND FURNITURE TO
ACHIEVE A MINIMUM CLASS 0 SPREAD OF FLAME OR
EQUIVALENT.

ALL WALLS AND DOORS TO BE MINIMUM FR30

FOR DESIGN INTENT ONLY.

PLEASE NOTE:
ALL LIGHTING AND ILLUMINATED SIGNAGE TO BE
DIMMABLE.

LIGHTING SYSTEMS TO COMPLY WITH PART L2 - LAMPS
AND CONTROLS ARE HIGH EFFICACY AND TYPE OF
AUTOMATIC CONTROL PRESENCE DETECTORS.

PLEASE NOTE:
- PRINCIPLE CONTRACTOR TO ENSURE FIRE EXIT
SIGNAGE ARE EDGE-LIT GLASS & THAT THE SIGN
SERVING IN THE MAIN ENTRANCE DOORS SHOWS
ONLY THE DIRECTION OF ESCAPE FROM THE UNIT
INTO THE CAR PARK AND THE REVERSE SIDE OF THE
SIGN, AS SEEN FROM THE CAR PARK, IS BLANK.

- EMERGENCY LIGHTS TO HAVE 3-HOUR BATTERY
POWERED AND INTEGRAL TO NORMAL LIGHT FITTINGS.
BULKHEAD EMERGENCY LIGHTS IN SALES AREA ARE
NOT PERMITTED.

- PROVISION OF ESCAPE LIGHTING TO BS5266 -
EMERGENCY LIGHTING, PART 1: 2005. LIGHT LEVELS
TO BE DEMONSTRATED TO SITE TO AN OFFICER OF
THIS AUTHORITY.

- LIGHTING AND ILLUMINATED SIGNAGE IN THE SHOP
& SHOP FRONT IS ON A TIMER TO KEEP LIGHTS ON
DURING THE FOLLOWING MINIMUM PERIOD:
MONDAY - SUNDAY 7:00 - 22:00 HRS.

A	ISSUED FOR INFORMATION	24.01.24
issue	description	date

BUILDER AND / OR SUB-CONTRACTORS SHALL VERIFY ALL PROJECT
DIMENSIONS BEFORE COMMENCING ON-SITE OR OFF-SITE.
FABRICATIONS FIGURED DIMENSIONS SHALL TAKE PRECEDENCE
OVER SCALED DIMENSIONS. THIS DRAWING IS COPYRIGHT AND
CANNOT BE REPRODUCED IN WHOLE OR IN PART OR BY ANY
MEDIUM WITHOUT THE WRITTEN PERMISSION OF STAMP DESIGN.
NO WARRANTY IS OFFERED OR IMPLIED ON THE CONTENT OF
THESE DRAWINGS. CLIENT AND CONTRACTOR SHOULD SATISFY
THEMSELVES THAT THE DESIGN INTENT AS INDICATED IS SUITABLE
IN TERMS OF FUNCTION AND FEASIBILITY. GUIDANCE SHOULD BE
SOUGHT FROM THE LANDLORDS RETAINED ARCHITECT,
STRUCTURAL ENGINEERS AND PROJECT TEAM AS TO THE
FEASIBILITY OF DESIGN INTENT CONTAINED HEREIN.
THE LANDLORDS AGENTS WILL BE RESPONSIBLE IN ALL CASES FOR
ENSURING ADEQUATE PROVISION OF DESIGN INFORMATION, AND
SIGN OFF OF DESIGN INTENT HEREIN.
NO STRUCTURAL DESIGN HAS TAKEN PLACE. SHOULD STRUCTURAL
DESIGN BE REQUIRED, THIS MUST BE COMMISSIONED AND SIGNED
OFF BY AN INDEPENDENT STRUCTURAL ENGINEER IN ALL CASES. NO
GUIDANCE OR WARRANTY AS TO THE STRUCTURAL SUITABILITY OF
ANY WORK CONTAINED HEREIN IS OFFERED OR IMPLIED.
IF IN DOUBT, ASK!



8 TOTTENHAM ROAD,
FARNCOMBE
GODALMING
GU7 2HT

STAMP

123A Borough High Street
London
SE1 1NP
www.stampdesign.co.uk

title	REFLECTIVE CEILING PLAN
scale	drawn
1:40 @A1	AML
drawing no.	STA.Scouts.BADENHALL.RCP00

DIMENSIONS TO BE
RECHECKED ON STRIP-OUT

ALL WALLS, FLOORING, CEILING AND FURNITURE TO
ACHIEVE A MINIMUM CLASS 0 SPREAD OF FLAME OR
EQUIVALENT.

ALL WALLS AND DOORS TO BE MINIMUM FR30

FOR DESIGN INTENT ONLY.

PLEASE NOTE:
ALL LIGHTING AND ILLUMINATED SIGNAGE TO BE
DIMMABLE.

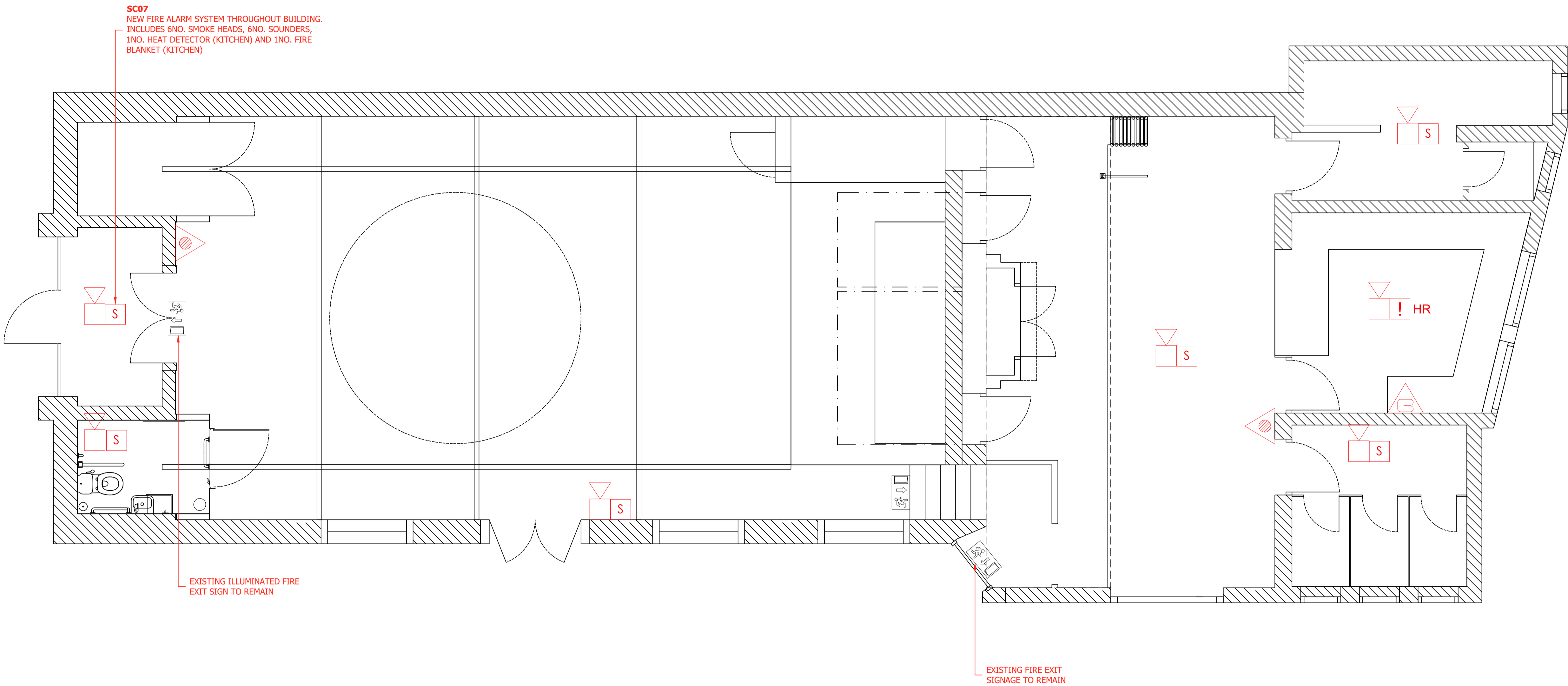
LIGHTING SYSTEMS TO COMPLY WITH PART L2 - LAMPS
AND CONTROLS ARE HIGH EFFICACY AND TYPE OF
AUTOMATIC CONTROL PRESENCE DETECTORS.

PLEASE NOTE:
- PRINCIPLE CONTRACTOR TO ENSURE FIRE EXIT
SIGNAGE ARE EDGE-LIT GLASS & THAT THE SIGN
SERVING IN THE MAIN ENTRANCE DOORS SHOWS
ONLY THE DIRECTION OF ESCAPE FROM THE UNIT
INTO THE CAR PARK AND THE REVERSE SIDE OF THE
SIGN, AS SEEN FROM THE CAR PARK, IS BLANK.

- EMERGENCY LIGHTS TO HAVE 3-HOUR BATTERY
POWERED AND INTEGRAL TO NORMAL LIGHT FITTINGS.
BULKHEAD EMERGENCY LIGHTS IN SALES AREA ARE
NOT PERMITTED.

- PROVISION OF ESCAPE LIGHTING TO BS5266 -
EMERGENCY LIGHTING, PART 1: 2005. LIGHT LEVELS
TO BE DEMONSTRATED TO SITE TO AN OFFICER OF
THIS AUTHORITY.

- LIGHTING AND ILLUMINATED SIGNAGE IN THE SHOP
& SHOP FRONT IS ON A TIMER TO KEEP LIGHTS ON
DURING THE FOLLOWING MINIMUM PERIOD:
MONDAY - SUNDAY 7:00 - 22:00 HRS.



A	ISSUED FOR INFORMATION	24.01.24
issue	description	date

BUILDER AND / OR SUB-CONTRACTORS SHALL VERIFY ALL PROJECT
DIMENSIONS BEFORE COMMENCING ON-SITE OR OFF-SITE
FABRICATIONS FIGURED DIMENSIONS SHALL TAKE PRECEDENCE
OVER SCALED DIMENSIONS. THIS DRAWING IS COPYRIGHT AND
CANNOT BE REPRODUCED IN WHOLE OR IN PART OR BY ANY
MEDIUM WITHOUT THE WRITTEN PERMISSION OF STAMP DESIGN.
NO WARRANTY IS OFFERED OR IMPLIED ON THE CONTENT OF
THESE DRAWINGS. CLIENT AND CONTRACTOR SHOULD SATISFY
THEMSELVES THAT THE DESIGN INTENT AS INDICATED IS SUITABLE
IN TERMS OF FUNCTION AND FEASIBILITY. GUIDANCE SHOULD BE
SOUGHT FROM THE LANDLORDS RETAINED ARCHITECT,
STRUCTURAL ENGINEERS AND PROJECT TEAM AS TO THE
FEASIBILITY OF DESIGN INTENT CONTAINED HEREIN.
THE LANDLORDS AGENTS WILL BE RESPONSIBLE IN ALL CASES FOR
ENSURING ADEQUATE PROVISION OF DESIGN INFORMATION, AND
SIGN OFF OF DESIGN INTENT HEREIN.
NO STRUCTURAL DESIGN HAS TAKEN PLACE. SHOULD STRUCTURAL
DESIGN BE REQUIRED, THIS MUST BE COMMISSIONED AND SIGNED
OFF BY AN INDEPENDENT STRUCTURAL ENGINEER IN ALL CASES. NO
GUIDANCE OR WARRANTY AS TO THE STRUCTURAL SUITABILITY OF
ANY WORK CONTAINED HEREIN IS OFFERED OR IMPLIED.
IF IN DOUBT, ASK!

FIRE & ASSISTANCE ALARMS			
	SMOKE DETECTOR		RATE OF RISE HEAT DETECTOR
	FIXED TEMPERATURE HEAT DETECTOR		DETECTOR MOUNTED WITHIN VOID
	REMOTELY MOUNTED LED INDICATOR		COMBINED ELECTRONIC SOUNDER & DETECTOR
	ELECTRONIC SOUNDER		FIRE ALARM BELL - 24V DC RED UNDERDOME TYPE
	COMBINED ELECTRONIC SOUNDER AND BEACON		XENON BEACON
	BREAK GLASS CALL POINT		INTERFACE UNIT
	MAIN FIRE ALARM PANEL		REPEATER PANEL
	SPRINKLER MONITORED VALVE		SPRINKLER FLOW SWITCH
	MAGNETIC DOOR RELEASE		CONTROL PANEL SUPERVISORY SOUNDER
	LOOP SHORT CIRCUIT ISOLATER		DISABLED PERSONS ALARM CALL SOUNDER AND BEACON
	RECESSED MOUNTED MAINTAINED 3 HOUR EMERGENCY BLADE LUMINAIRE EDGE-LIT GLASS WITH EURO STANDARD NOMOGRAM		

SYMBOL	DESCRIPTION	FINISH
	WATER EXTINGUISHER	CHROME
	FOAM EXTINGUISHER	CHROME
	CO2 EXTINGUISHER	CHROME
	FIRE BLANKET	STANARD
	CAVITY BARRIER	N/A
	FINAL EXIT POINT	N/A
	TRAVEL DISTANCE	N/A

Scouts

8 TOTTENHAM ROAD,
FARNCOMBE
GODALMING
GU7 2HT

STAMP

123A Borough High Street
London
SE1 1NP
www.stampdesign.co.uk

title
FIRE STRATEGY PLAN

scale drawn
1:40 @A1 AML

drawing no.

STA.SCOOTS.BADENHALL.FS00

DIMENSIONS TO BE
RECHECKED ON STRIP-OUT

ALL WALLS, FLOORING, CEILING AND FURNITURE TO
ACHIEVE A MINIMUM CLASS 0 SPREAD OF FLAME OR
EQUIVALENT.

ALL WALLS AND DOORS TO BE MINIMUM FR30

FOR DESIGN INTENT ONLY.

PLEASE NOTE:
ALL LIGHTING AND ILLUMINATED SIGNAGE TO BE
DIMMABLE.

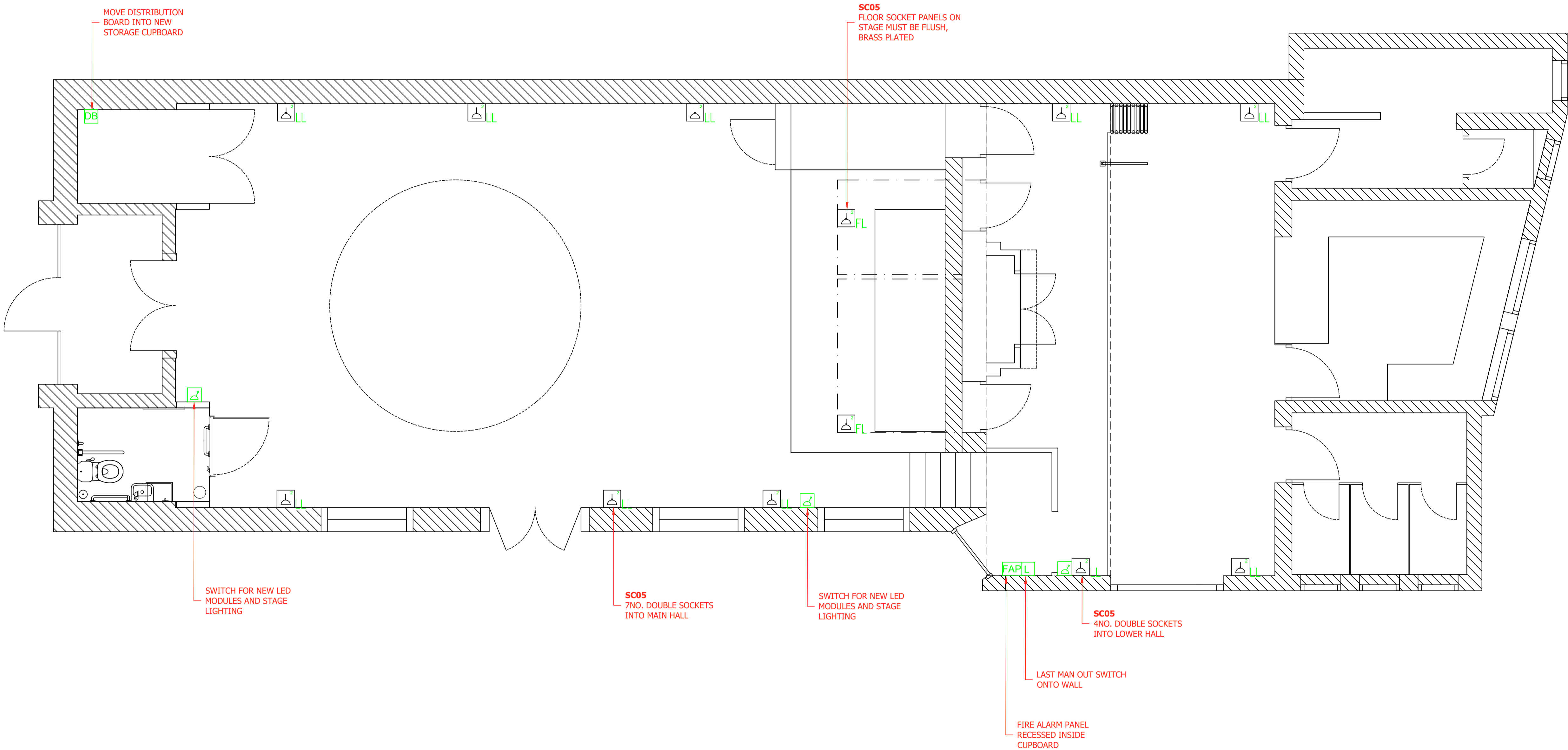
LIGHTING SYSTEMS TO COMPLY WITH PART L2 - LAMPS
AND CONTROLS ARE HIGH EFFICACY AND TYPE OF
AUTOMATIC CONTROL PRESENCE DETECTORS.

PLEASE NOTE:
- PRINCIPLE CONTRACTOR TO ENSURE FIRE EXIT
SIGNAGE ARE EDGE-LIT GLASS & THAT THE SIGN
SERVING IN THE MAIN ENTRANCE DOORS SHOWS
ONLY THE DIRECTION OF ESCAPE FROM THE UNIT
INTO THE CAR PARK AND THE REVERSE SIDE OF THE
SIGN, AS SEEN FROM THE CAR PARK, IS BLANK.

- EMERGENCY LIGHTS TO HAVE 3-HOUR BATTERY
POWERED AND INTEGRAL TO NORMAL LIGHT FITTINGS.
BULKHEAD EMERGENCY LIGHTS IN SALES AREA ARE
NOT PERMITTED.

- PROVISION OF ESCAPE LIGHTING TO BS5266 -
EMERGENCY LIGHTING, PART 1: 2005. LIGHT LEVELS
TO BE DEMONSTRATED TO SITE TO AN OFFICER OF
THIS AUTHORITY.

- LIGHTING AND ILLUMINATED SIGNAGE IN THE SHOP
& SHOP FRONT IS ON A TIMER TO KEEP LIGHTS ON
DURING THE FOLLOWING MINIMUM PERIOD:
MONDAY - SUNDAY 7:00 - 22:00 HRS.



A	ISSUED FOR INFORMATION	24.01.24
issue	description	date

BUILDER AND / OR SUB-CONTRACTORS SHALL VERIFY ALL PROJECT DIMENSIONS BEFORE COMMENCING ON-SITE OR OFF-SITE FABRICATIONS FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING IS COPYRIGHT AND CANNOT BE REPRODUCED IN WHOLE OR IN PART OR BY ANY MEDIUM WITHOUT THE WRITTEN PERMISSION OF STAMP DESIGN. NO WARRANTY IS OFFERED OR IMPLIED ON THE CONTENT OF THESE DRAWINGS. CLIENT AND CONTRACTOR SHOULD SATISFY THEMSELVES THAT THE DESIGN INTENT AS INDICATED IS SUITABLE IN TERMS OF FUNCTION AND FEASIBILITY. GUIDANCE SHOULD BE SOUGHT FROM THE LANDLORDS RETAINED ARCHITECT, STRUCTURAL ENGINEERS AND PROJECT TEAM AS TO THE FEASIBILITY OF DESIGN INTENT CONTAINED HEREIN. THE LANDLORDS AGENTS WILL BE RESPONSIBLE IN ALL CASES FOR ENSURING ADEQUATE PROVISION OF DESIGN INFORMATION, AND SIGN OFF OF DESIGN INTENT HEREIN. NO STRUCTURAL DESIGN HAS TAKEN PLACE. SHOULD STRUCTURAL DESIGN BE REQUIRED, THIS MUST BE COMMISSIONED AND SIGNED OFF BY AN INDEPENDENT STRUCTURAL ENGINEER IN ALL CASES. NO GUIDANCE OR WARRANTY AS TO THE STRUCTURAL SUITABILITY OF ANY WORK CONTAINED HEREIN IS OFFERED OR IMPLIED. **IF IN DOUBT, ASK!**

POWER AND DATA KEY			
KEY	DESCRIPTION	KEY	DESCRIPTION
	SINGLE SOCKET		MECHANICAL VENTILLATION
	DOUBLE SOCKET WITH USB POINTS	LL ML HL	LL - LOW LEVEL SOCKETS ML - COUNTER HEIGHT SOCKETS HL - HIGH LEVEL SOCKETS TO SUIT RELEVANT FITTING.
	DOUBLE SOCKET		SS SHAVER SOCKET
	FUSED SPUR		5 AMP SUPPLY SWITCH SYSTEM
	SWITCH		WIFI/ BT CONNECTION
	BT LINE IN		LAST MAN OUT
	DISTRIBUTION BOARD		FIRE ALARM PANEL

8 TOTTENHAM ROAD,
FARNCOMBE
GODALMING
GU7 2HT

STAMP

123A Borough High Street
London
SE1 1NP
www.stampdesign.co.uk

title	
POWER & DATA PLAN	
scale	drawn
1:40 @A1	AML
drawing no.	
STA.Scouts.BADENHALL.PD00	

DIMENSIONS TO BE
RECHECKED ON STRIP-OUT

ALL WALLS, FLOORING, CEILING AND FURNITURE TO
ACHIEVE A MINIMUM CLASS 0 SPREAD OF FLAME OR
EQUIVALENT.

ALL WALLS AND DOORS TO BE MINIMUM FR30

FOR DESIGN INTENT ONLY.

PLEASE NOTE:
ALL LIGHTING AND ILLUMINATED SIGNAGE TO BE
DIMMABLE.

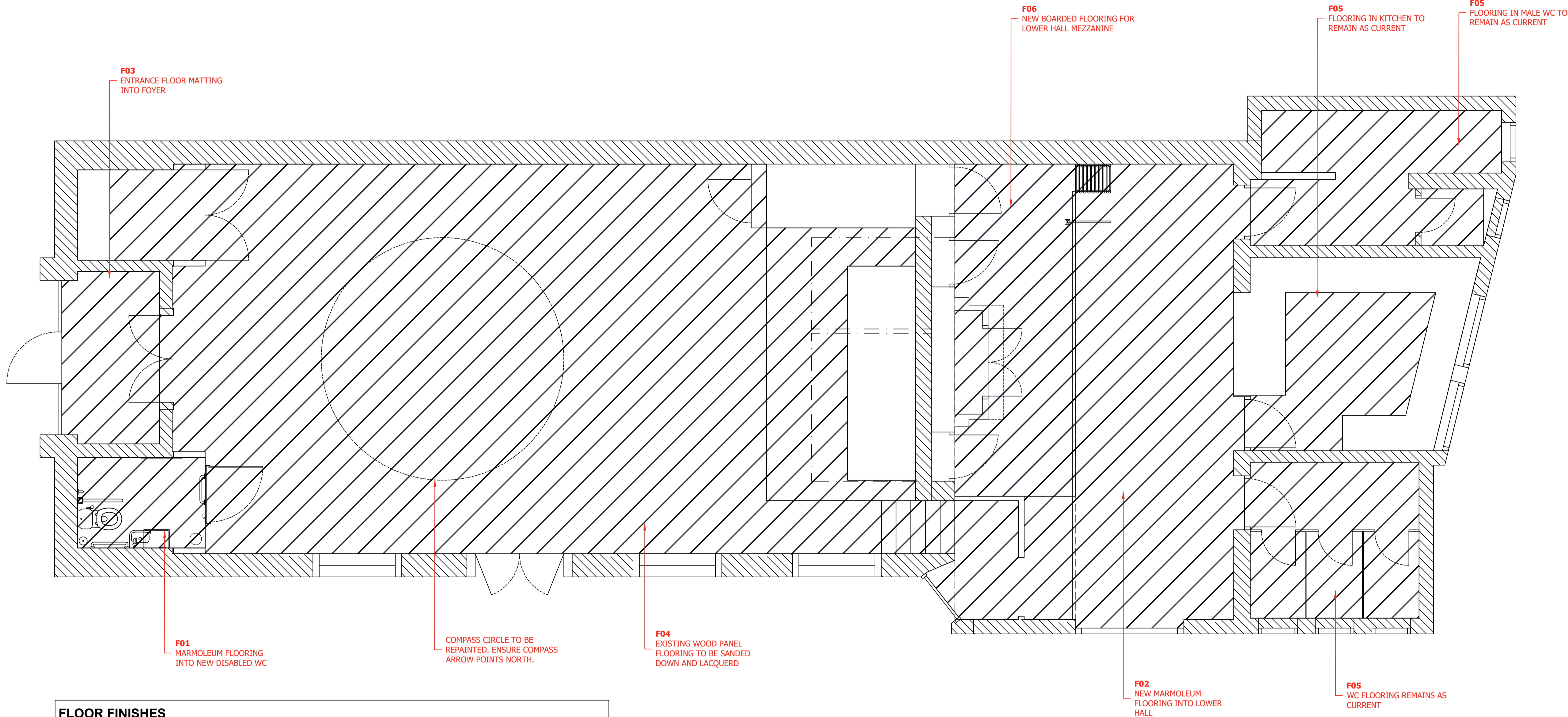
LIGHTING SYSTEMS TO COMPLY WITH PART L2 - LAMPS
AND CONTROLS ARE HIGH EFFICACY AND TYPE OF
AUTOMATIC CONTROL PRESENCE DETECTORS.

PLEASE NOTE:
- PRINCIPLE CONTRACTOR TO ENSURE FIRE EXIT
SIGNAGE ARE EDGE-LIT GLASS & THAT THE SIGN
SERVING IN THE MAIN ENTRANCE DOORS SHOWS
ONLY THE DIRECTION OF ESCAPE FROM THE UNIT
INTO THE CAR PARK AND THE REVERSE SIDE OF THE
SIGN, AS SEEN FROM THE CAR PARK, IS BLANK.

- EMERGENCY LIGHTS TO HAVE 3-HOUR BATTERY
POWERED AND INTEGRAL TO NORMAL LIGHT FITTINGS.
BULKHEAD EMERGENCY LIGHTS IN SALES AREA ARE
NOT PERMITTED.

- PROVISION OF ESCAPE LIGHTING TO BS5266 -
EMERGENCY LIGHTING, PART 1: 2005. LIGHT LEVELS
TO BE DEMONSTRATED TO SITE TO AN OFFICER OF
THIS AUTHORITY.

- LIGHTING AND ILLUMINATED SIGNAGE IN THE SHOP
& SHOP FRONT IS ON A TIMER TO KEEP LIGHTS ON
DURING THE FOLLOWING MINIMUM PERIOD:
MONDAY - SUNDAY 7:00 - 22:00 HRS.



A	ISSUED FOR INFORMATION	24.01.24
issue	description	date

BUILDER AND / OR SUB-CONTRACTORS SHALL VERIFY ALL PROJECT DIMENSIONS BEFORE COMMENCING ON-SITE OR OFF-SITE FABRICATIONS FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING IS COPYRIGHT AND CANNOT BE REPRODUCED IN WHOLE OR IN PART OR BY ANY MEDIUM WITHOUT THE WRITTEN PERMISSION OF STAMP DESIGN. NO WARRANTY IS OFFERED OR IMPLIED ON THE CONTENT OF THESE DRAWINGS. CLIENT AND CONTRACTOR SHOULD SATISFY THEMSELVES THAT THE DESIGN INTENT AS INDICATED IS SUITABLE IN TERMS OF FUNCTION AND FEASIBILITY. GUIDANCE SHOULD BE SOUGHT FROM THE LANDLORDS RETAINED ARCHITECT, STRUCTURAL ENGINEERS AND PROJECT TEAM AS TO THE FEASIBILITY OF DESIGN INTENT CONTAINED HEREIN. THE LANDLORDS AGENTS WILL BE RESPONSIBLE IN ALL CASES FOR ENSURING ADEQUATE PROVISION OF DESIGN INFORMATION, AND SIGN OFF OF DESIGN INTENT HEREIN. NO STRUCTURAL DESIGN HAS TAKEN PLACE. SHOULD STRUCTURAL DESIGN BE REQUIRED, THIS MUST BE COMMISSIONED AND SIGNED OFF BY AN INDEPENDENT STRUCTURAL ENGINEER IN ALL CASES. NO GUIDANCE OR WARRANTY AS TO THE STRUCTURAL SUITABILITY OF ANY WORK CONTAINED HEREIN IS OFFERED OR IMPLIED.

IF IN DOUBT, ASK!



8 TOTTENHAM ROAD,
FARNCOMBE
GODALMING
GU7 2HT

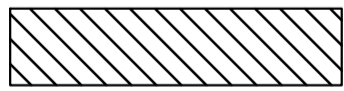
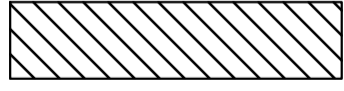

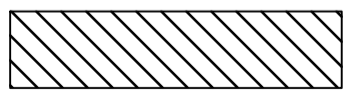
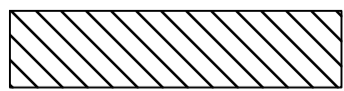
STAMP

123A Borough High Street
London
SE1 1NP
www.stampdesign.co.uk

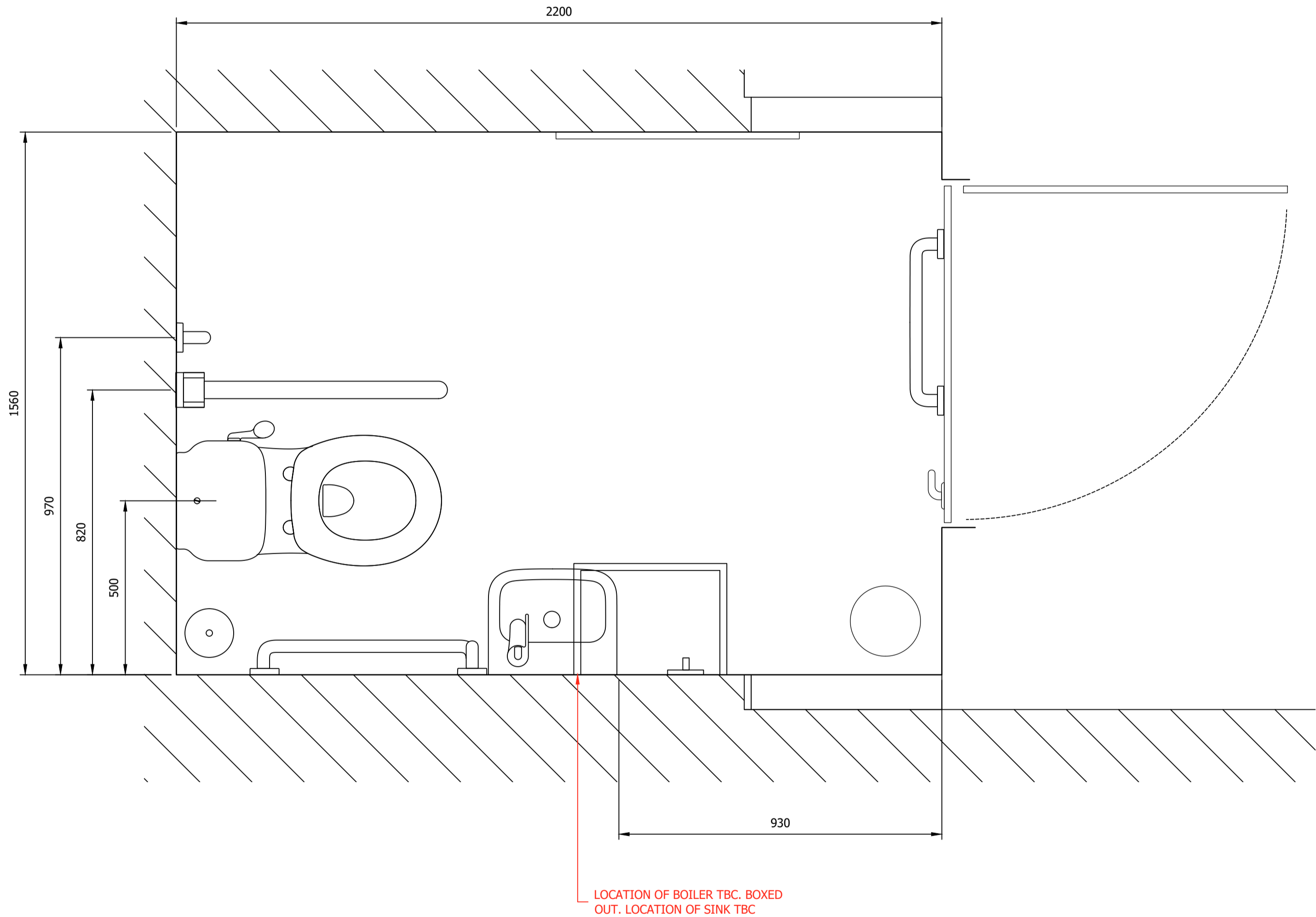
title
FLOORING PLAN

scale drawn
1:40 @A1 AML

drawing no.
STA.Scouts.BADENHALL.FL00

FLOOR FINISHES			
ITEM NO:	DESCRIPTION		SUPPLIER
F01		MARMOLEUM FLOORING TBC	CONTRACTOR TBC
F02		ENTRANCE FLOOR MATTING	CONTRACTOR TBC
F03		SAND DOWN EXISTING FLOORING	CONTRACTOR TBC
F04		FLOOR REMAINS AS CURRENT	CONTRACTOR TBC
F05		MEZZANINE BOARDED FLOORING TBC	CONTRACTOR TBC

DIMENSIONS TO BE
RECHECKED ON STRIP-OUT



ALL WALLS, FLOORING, CEILING AND FURNITURE TO ACHIEVE A MINIMUM CLASS 0 SPREAD OF FLAME OR EQUIVALENT.

ALL WALLS AND DOORS TO BE MINIMUM FR30

FOR DESIGN INTENT ONLY.

PLEASE NOTE:
ALL LIGHTING AND ILLUMINATED SIGNAGE TO BE DIMMABLE.

LIGHTING SYSTEMS TO COMPLY WITH PART L2 - LAMPS AND CONTROLS ARE HIGH EFFICACY AND TYPE OF AUTOMATIC CONTROL PRESENCE DETECTORS.

PLEASE NOTE:
- PRINCIPLE CONTRACTOR TO ENSURE FIRE EXIT SIGNAGE ARE EDGE-LIT GLASS & THAT THE SIGN SERVING IN THE MAIN ENTRANCE DOORS SHOWS ONLY THE DIRECTION OF ESCAPE FROM THE UNIT INTO THE CAR PARK AND THE REVERSE SIDE OF THE SIGN, AS SEEN FROM THE CAR PARK, IS BLANK.

- EMERGENCY LIGHTS TO HAVE 3-HOUR BATTERY POWERED AND INTEGRAL TO NORMAL LIGHT FITTINGS. BULKHEAD EMERGENCY LIGHTS IN SALES AREA ARE NOT PERMITTED.

- PROVISION OF ESCAPE LIGHTING TO BS5266 - EMERGENCY LIGHTING, PART 1: 2005. LIGHT LEVELS TO BE DEMONSTRATED TO SITE TO AN OFFICER OF THIS AUTHORITY.

- LIGHTING AND ILLUMINATED SIGNAGE IN THE SHOP & SHOP FRONT IS ON A TIMER TO KEEP LIGHTS ON DURING THE FOLLOWING MINIMUM PERIOD:
MONDAY - SUNDAY 7:00 - 22:00 HRS.

A ISSUED FOR INFORMATION 24.01.24

issue description date

BUILDER AND / OR SUB-CONTRACTORS SHALL VERIFY ALL PROJECT DIMENSIONS BEFORE COMMENCING ON-SITE OR OFF-SITE FABRICATIONS FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING IS COPYRIGHT AND CANNOT BE REPRODUCED IN WHOLE OR IN PART OR BY ANY MEDIUM WITHOUT THE WRITTEN PERMISSION OF STAMP DESIGN. NO WARRANTY IS OFFERED OR IMPLIED ON THE CONTENT OF THESE DRAWINGS. CLIENT AND CONTRACTOR SHOULD SATISFY THEMSELVES THAT THE DESIGN INTENT AS INDICATED IS SUITABLE IN TERMS OF FUNCTION AND FEASIBILITY. GUIDANCE SHOULD BE SOUGHT FROM THE LANDLORDS RETAINED ARCHITECT, STRUCTURAL ENGINEERS AND PROJECT TEAM AS TO THE FEASIBILITY OF DESIGN INTENT CONTAINED HEREIN. THE LANDLORDS AGENTS WILL BE RESPONSIBLE IN ALL CASES FOR ENSURING ADEQUATE PROVISION OF DESIGN INFORMATION, AND SIGN OFF OF DESIGN INTENT HEREIN. NO STRUCTURAL DESIGN HAS TAKEN PLACE. SHOULD STRUCTURAL DESIGN BE REQUIRED, THIS MUST BE COMMISSIONED AND SIGNED OFF BY AN INDEPENDENT STRUCTURAL ENGINEER IN ALL CASES. NO GUIDANCE OR WARRANTY AS TO THE STRUCTURAL SUITABILITY OF ANY WORK CONTAINED HEREIN IS OFFERED OR IMPLIED.

IF IN DOUBT, ASK!



8 TOTTENHAM ROAD,
FARNCOMBE
GODALMING
GU7 2HT

STAMP

123A Borough High Street
London
SE1 1NP
www.stampdesign.co.uk

title
DISABLED W/C

scale drawn
1:10 @A1 AML

drawing no.
STA.Scouts.BADENHALL.WC00

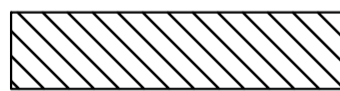
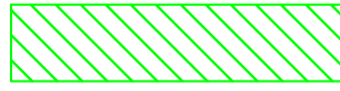

DIMENSIONS TO BE
RECHECKED ON STRIP-OUT



KEEP AS CURRENT, BUT CLEAN

NEW SIGNAGE TO BE INSTALLED
TO REPLACE CURRENT

PAINT FINISHES - BUILDING FRONT

ITEM NO:	DESCRIPTION	SUPPLIER
F07	 RE-PAINT WITH OUTDOOR USE, DURABLE WHITE	CONTRACTOR TBC
F08	 RE-PAINT GREEN TBC	CONTRACTOR TBC
F09	 CLEAN & MAKE GOOD	CONTRACTOR TBC

ALL WALLS, FLOORING, CEILING AND FURNITURE TO ACHIEVE A MINIMUM CLASS 0 SPREAD OF FLAME OR EQUIVALENT.

ALL WALLS AND DOORS TO BE MINIMUM FR30

FOR DESIGN INTENT ONLY.

PLEASE NOTE:
ALL LIGHTING AND ILLUMINATED SIGNAGE TO BE DIMMABLE.

LIGHTING SYSTEMS TO COMPLY WITH PART L2 - LAMPS AND CONTROLS ARE HIGH EFFICACY AND TYPE OF AUTOMATIC CONTROL PRESENCE DETECTORS.

PLEASE NOTE:
- PRINCIPLE CONTRACTOR TO ENSURE FIRE EXIT SIGNAGE ARE EDGE-LIT GLASS & THAT THE SIGN SERVING IN THE MAIN ENTRANCE DOORS SHOWS ONLY THE DIRECTION OF ESCAPE FROM THE UNIT INTO THE CAR PARK AND THE REVERSE SIDE OF THE SIGN, AS SEEN FROM THE CAR PARK, IS BLANK.

- EMERGENCY LIGHTS TO HAVE 3-HOUR BATTERY POWERED AND INTEGRAL TO NORMAL LIGHT FITTINGS. BULKHEAD EMERGENCY LIGHTS IN SALES AREA ARE NOT PERMITTED.

- PROVISION OF ESCAPE LIGHTING TO BS5266 - EMERGENCY LIGHTING, PART 1: 2005. LIGHT LEVELS TO BE DEMONSTRATED TO SITE TO AN OFFICER OF THIS AUTHORITY.

- LIGHTING AND ILLUMINATED SIGNAGE IN THE SHOP & SHOP FRONT IS ON A TIMER TO KEEP LIGHTS ON DURING THE FOLLOWING MINIMUM PERIOD:
MONDAY - SUNDAY 7:00 - 22:00 HRS.

A	ISSUED FOR INFORMATION	24.01.24
issue	description	date

BUILDER AND / OR SUB-CONTRACTORS SHALL VERIFY ALL PROJECT DIMENSIONS BEFORE COMMENCING ON-SITE OR OFF-SITE FABRICATIONS FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING IS COPYRIGHT AND CANNOT BE REPRODUCED IN WHOLE OR IN PART OR BY ANY MEDIUM WITHOUT THE WRITTEN PERMISSION OF STAMP DESIGN. NO WARRANTY IS OFFERED OR IMPLIED ON THE CONTENT OF THESE DRAWINGS. CLIENT AND CONTRACTOR SHOULD SATISFY THEMSELVES THAT THE DESIGN INTENT AS INDICATED IS SUITABLE IN TERMS OF FUNCTION AND FEASIBILITY. GUIDANCE SHOULD BE SOUGHT FROM THE LANDLORDS RETAINED ARCHITECT, STRUCTURAL ENGINEERS AND PROJECT TEAM AS TO THE FEASIBILITY OF DESIGN INTENT CONTAINED HEREIN. THE LANDLORDS AGENTS WILL BE RESPONSIBLE IN ALL CASES FOR ENSURING ADEQUATE PROVISION OF DESIGN INFORMATION, AND SIGN OFF OF DESIGN INTENT HEREIN. NO STRUCTURAL DESIGN HAS TAKEN PLACE. SHOULD STRUCTURAL DESIGN BE REQUIRED, THIS MUST BE COMMISSIONED AND SIGNED OFF BY AN INDEPENDENT STRUCTURAL ENGINEER IN ALL CASES. NO GUIDANCE OR WARRANTY AS TO THE STRUCTURAL SUITABILITY OF ANY WORK CONTAINED HEREIN IS OFFERED OR IMPLIED.
IF IN DOUBT, ASK!

Scouts 

8 TOTTENHAM ROAD,
FARNCOMBE
GODALMING
GU7 2HT

STAMP

123A Borough High Street
London
SE1 1NP
www.stampdesign.co.uk

title
BUILDING FRONTAGE

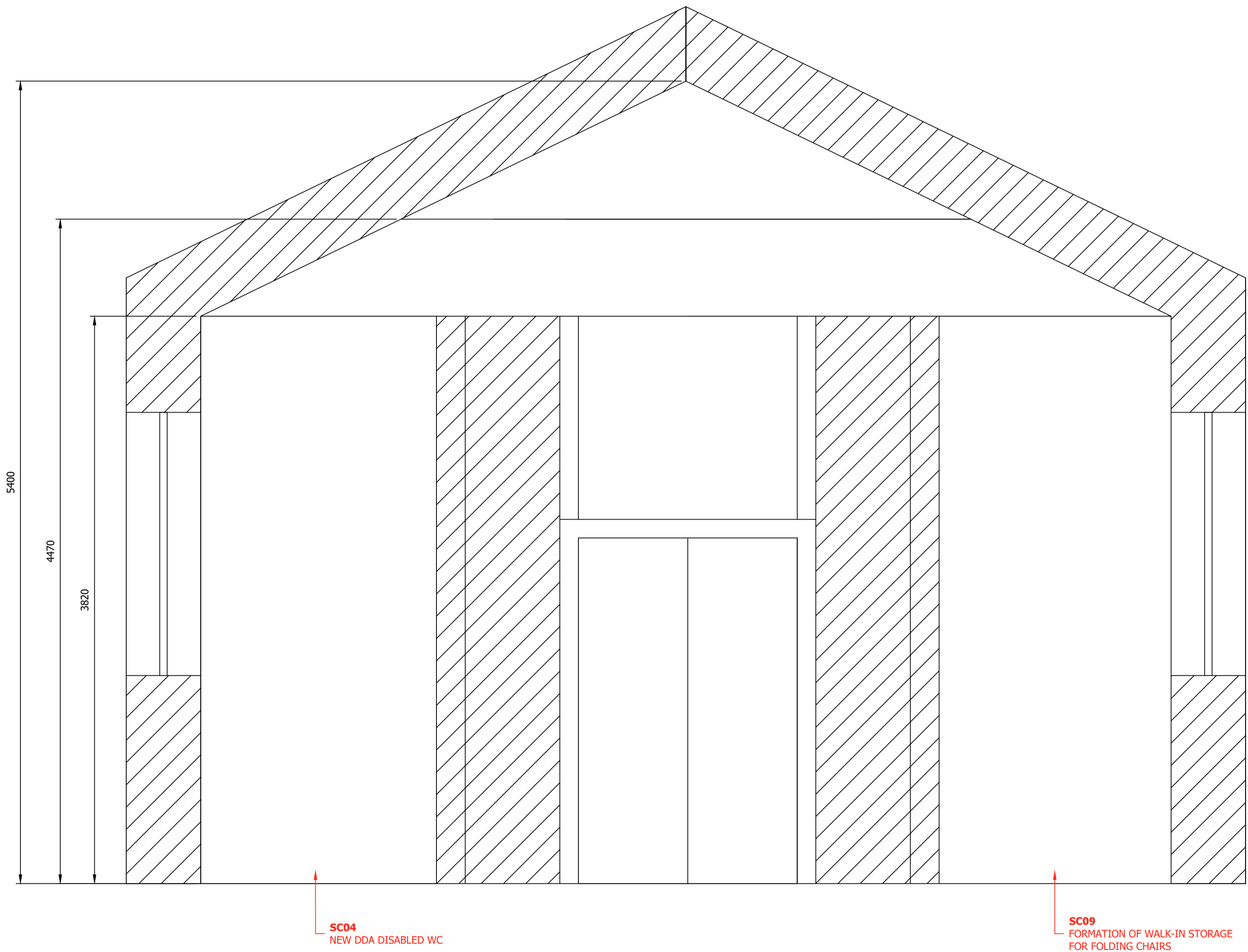
scale
1:20 @A1

drawn
AML

drawing no.
STA.SCOOTS.BADENHALL.BF00

A FRONT ELEVATION OF BUILDING
SCALE 1:20 @A1

DIMENSIONS TO BE
RECHECKED ON STRIP-OUT



A WALL SECTION
SCALE 1:20 @A1

ALL WALLS, FLOORING, CEILING AND FURNITURE TO ACHIEVE A MINIMUM CLASS 0 SPREAD OF FLAME OR EQUIVALENT.

ALL WALLS AND DOORS TO BE MINIMUM FR30

FOR DESIGN INTENT ONLY.

PLEASE NOTE:
ALL LIGHTING AND ILLUMINATED SIGNAGE TO BE DIMMABLE.

LIGHTING SYSTEMS TO COMPLY WITH PART L2 - LAMPS AND CONTROLS ARE HIGH EFFICACY AND TYPE OF AUTOMATIC CONTROL PRESENCE DETECTORS.

PLEASE NOTE:
- PRINCIPLE CONTRACTOR TO ENSURE FIRE EXIT SIGNAGE ARE EDGE-LIT GLASS & THAT THE SIGN SERVING IN THE MAIN ENTRANCE DOORS SHOWS ONLY THE DIRECTION OF ESCAPE FROM THE UNIT INTO THE CAR PARK AND THE REVERSE SIDE OF THE SIGN, AS SEEN FROM THE CAR PARK, IS BLANK.

- EMERGENCY LIGHTS TO HAVE 3-HOUR BATTERY POWERED AND INTEGRAL TO NORMAL LIGHT FITTINGS. BULKHEAD EMERGENCY LIGHTS IN SALES AREA ARE NOT PERMITTED.

- PROVISION OF ESCAPE LIGHTING TO BS5266 - EMERGENCY LIGHTING, PART 1: 2005. LIGHT LEVELS TO BE DEMONSTRATED TO SITE TO AN OFFICER OF THIS AUTHORITY.

- LIGHTING AND ILLUMINATED SIGNAGE IN THE SHOP & SHOP FRONT IS ON A TIMER TO KEEP LIGHTS ON DURING THE FOLLOWING MINIMUM PERIOD:
MONDAY - SUNDAY 7:00 - 22:00 HRS.

A	ISSUED FOR INFORMATION	24.01.24
issue	description	date

BUILDER AND / OR SUB-CONTRACTORS SHALL VERIFY ALL PROJECT DIMENSIONS BEFORE COMMENCING ON-SITE OR OFF-SITE FABRICATIONS FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING IS COPYRIGHT AND CANNOT BE REPRODUCED IN WHOLE OR IN PART OR BY ANY MEDIUM WITHOUT THE WRITTEN PERMISSION OF STAMP DESIGN. NO WARRANTY IS OFFERED OR IMPLIED ON THE CONTENT OF THESE DRAWINGS. CLIENT AND CONTRACTOR SHOULD SATISFY THEMSELVES THAT THE DESIGN INTENT AS INDICATED IS SUITABLE IN TERMS OF FUNCTION AND FEASIBILITY. GUIDANCE SHOULD BE SOUGHT FROM THE LANDLORDS RETAINED ARCHITECT, STRUCTURAL ENGINEERS AND PROJECT TEAM AS TO THE FEASIBILITY OF DESIGN INTENT CONTAINED HEREIN. THE LANDLORDS AGENTS WILL BE RESPONSIBLE IN ALL CASES FOR ENSURING ADEQUATE PROVISION OF DESIGN INFORMATION, AND SIGN OFF OF DESIGN INTENT HEREIN. NO STRUCTURAL DESIGN HAS TAKEN PLACE. SHOULD STRUCTURAL DESIGN BE REQUIRED, THIS MUST BE COMMISSIONED AND SIGNED OFF BY AN INDEPENDENT STRUCTURAL ENGINEER IN ALL CASES. NO GUIDANCE OR WARRANTY AS TO THE STRUCTURAL SUITABILITY OF ANY WORK CONTAINED HEREIN IS OFFERED OR IMPLIED.

IF IN DOUBT, ASK!



8 TOTTENHAM ROAD,
FARNCOMBE
GODALMING
GU7 2HT

STAMP

123A Borough High Street
London
SE1 1NP
www.stampdesign.co.uk

title	
WALL SECTION	
scale	drawn
1:20 @A1	JJ
drawing no.	
STA.Scouts.BADENHALL.WS00	

Baden Hall/FS&B Receipts and Payments Account

For the year from	01/01/2023	To	31/12/2023
-------------------	------------	----	------------

Receipts and payments

	Unrestricted funds £ Baden Hall A/C	Unrestricted funds £ FS&B A/C
Payments		
Charitable Payments		
Premises Expense	408.09	
Music Licence	139.20	
Insurance	1,214.44	
Utilities	1,626.18	
		-
British Gas - Boiler Service	244.36	-
Sub total	3,632.27	-
Fundraising expenses		
	-	-
	-	-
	-	-
	-	-
Sub total	-	-
Total Gross Expenditure	3,632.27	-
Asset and investment purchases, etc.	-	-
Total payments	3,632.27	-
Net of receipts/(payments)	689.27	22.08
Cash funds last year end	41,830.47	189.24
Cash funds this year end	11,141.20	30,211.32

Baden Hall/FS&B Receipts and Payments Account

For the year from	01/01/2023	To	31/12/2023
-------------------	------------	----	------------

Receipts and payments

	Unrestricted funds £ Baden Hall A/C	Unrestricted funds £ FS&B A/C
Receipts		
Donations, legacies and similar income		
Hall Rental - Scouts, Guides and Brownies	2,943.00	
Hall Rental - Public		
Total Hall Rental	2,943.00	-
Donations		
Easy Fundraising	-	
Castle Water Refund		
Sub total	2,943.00	-
Grants		
COVID grant		-
Other grants		-
Sub total	-	-
Group Activities		
Easy Fundraising		
Sub total	-	-
Investment income		
Bank interest from a/c 360 and 104		22.08
	-	
Other investment income	-	-
Sub total	-	22.08
Total Gross Income	2,943.00	22.08
Asset and investment sales, etc.	-	-
Total receipts	2,943.00	22.08

2943
22 08
2965 08

Statement of assets and liabilities at the end of the year

	Unrestricted funds £ Baden Hall A/C	Unrestricted funds £ FS&B A/C
Cash funds		
Bank Account 31/12/2022 (A/C NO. ENDING 345)	11,141.20	
Bank Account 31/12/2022 (A/C NO. ENDING 360) £8.81 int + £30K tfr from a/c 345		31,010.86
Bank Account 31/12/2022 (A/C NO. ENDING 104) NO ACTIVITY 2022 - £13.27 int		211.32
	-	-
Total cash funds	11,141.20	31,222.18
Other monetary assets		
	-	-
	-	-
	-	-
Sub total	-	-
Investment assets		
	-	-
	-	-
	-	-
Sub total	-	-
Non monetary assets for charity's own use		
	-	-
	-	-
	-	-
	-	-
	-	-
	-	-
Sub total	-	-
Liabilities		
-		-
-		
	-	-
	-	-
Total	11,141.20	31,222.18

Contingent liabilities and future obligations

The above receipts and payments account and statement of assets and liabilities were approved by the Trustees on
and signed on their behalf by

Signature

Print Name

Chair
Treasurer

GODALMING TOWN COUNCIL

ENVIRONMENT & PLANNING – SCHEDULE OF PLANNING APPLICATIONS – 11 FEBRUARY 2025-3 MARCH 2025

<u>Ref</u>	<u>Ward</u>	<u>Proposal</u>	<u>Site Address</u>	<u>GTC Observations</u>
WBC Weekly List 25/07				
WA/2025/00282	Godalming Central & Ockford	Application under Section 73 to vary condition 19 of WA/2023/01048 (limits the noise levels from air source heat pumps) to allow an increase of noise level details.	Woodside Park Catteshall Lane Godalming	
WA/2025/00263	Godalming Central & Ockford	Certificate of Lawfulness under Section 192 for dormer extension, installation of roof lights and alterations to fenestrations on South West and North West elevations.	42 Ockford Ridge Godalming GU7 2NR	
WA/2025/00279	Godalming Central & Ockford	Erection of two storey building for mixed residential and commercial use following demolition of existing single storey commercial building.	Workshop Bridge Mews Bridge Street Godalming	
WA/2025/00273	Godalming Central & Ockford	Construction of a dropped kerb and associated works.	27 Portsmouth Road Godalming GU7 2JU	
WA/2025/00266	Godalming Holloway	Erection of an outbuilding following demolition of existing outbuilding.	Whitfell 85 Busbridge Lane Godalming GU7 1QQ	
CA/2025/00250		MUNSTEAD CONSERVATION AREA WORKS TO TREES	Munstead Wick Heath Lane Godalming GU7 1UN	
CA/2025/00275		OCKFORD ROAD CONSERVATION AREA REMOVAL OF TREE	110 Ockford Road Godalming GU7 1RG	
WBC Weekly List 25/08				
TM/2025/00323	Godalming Binscombe & Charterhouse	APPLICATION FOR WORKS TO TREE SUBJECT OF TREE PRESERVATION ORDER 07/07	8 Mark Way Godalming GU7 2BE	

<u>Ref</u>	<u>Ward</u>	<u>Proposal</u>	<u>Site Address</u>	<u>GTC Observations</u>
WA/2025/00301	Godalming Central & Ockford	Construction of second and third floor extensions to existing commercial building to provide 9 residential units with refuse and cycle storage and shared roof top amenity space; external alterations to commercial floors.	48-56 High Street Godalming GU7 1DY	
WA/2025/00294	Godalming Central and Ockford	Application under S73 to vary condition 18 (approved plans) of WA/2022/00912 to allow alterations to elevations and parking arrangements.	Former Ingram & Glass Ltd Catteshall Lane Godalming GU7 1LB	
WA/2025/00320	Godalming Holloway	Certificate of Lawfulness under Section 192 for erection of a single storey extension and demolition of existing conservatory.	60 Fox Dene Godalming GU7 1YQ	
WA/2025/00309	Godalming Holloway	Erection of extensions and alterations including link extension with alterations to garage/store to provide habitable accommodation; dormer extensions and installation of roof lights to provide habitable accommodation in roof space.	Tanglewood 13 Braemar Close Godalming GU7 1SA	
CA/2025/00330		OCKFORD ROAD CONSERVATION AREA REMOVAL OF TREE	Ashbrook 102a Ockford Road Godalming GU7 1RG	
WBC Weekly List 25/09				
WA/2025/00390	Godalming Binscombe & Charterhouse	Certificate of Lawfulness under Section 192 for alterations to roof space to provide habitable accommodation including dormer and roof lights.	28 Farncombe Hill Godalming GU7 2AU	
WA/2025/00366	Godalming Binscombe & Charterhouse	Alterations to detached garage to provide additional habitable accommodation.	54 Silo Drive Farncombe Godalming GU7 3NX	
PRA/2025/00343	Godalming Binscombe & Charterhouse	Erection of a single storey rear extension which would extend 4m beyond the rear wall of the original house for which the height would be 2.91m and for which the height of the eaves would be 2.46m.	54 Silo Drive Farncombe Godalming GU7 3NX	

<u>Ref</u>	<u>Ward</u>	<u>Proposal</u>	<u>Site Address</u>	<u>GTC Observations</u>
WA/2025/00372	Godalming Central & Ockford	Listed Building Consent for replacement of existing roof.	Nos 61 63 65 & 65A High Street Godalming	
WA/2025/00344	Godalming Central & Ockford	Application under Section 73 to vary Condition 1 (approved plans) of WA/2022/00924 to allow for changes to fenestration on ground floor South elevation, retention of existing bay window and erection of a porch.	9 Scizdons Climb Godalming GU7 1NL	
TM/2025/00336	Godalming Central & Ockford	APPLICATION FOR WORKS TO TREE SUBJECT OF TREE PRESERVATION ORDER 25/07	Headley Lodge Ockford Road Godalming GU7 1QP	
WA/2025/00374	Godalming Farncombe & Catteshall	Erection of an orangery.	7 Bramswell Road Farncombe Godalming GU7 3JH	
WA/2025/00350	Godalming Farncombe & Catteshall	Erection of two semi-detached dwellings with parking and amenity space and solar PV array on roofs; demolition of existing mixed use commercial building.	23A Bourne Road Farncombe Godalming GU7 3NL	
CA/2025/00335		OCKFORD ROAD CONSERVATION AREA WORKS TO TREE	Headley Lodge Ockford Road Godalming GU7 1QP	

GODALMING TOWN COUNCIL

Disclosure by a Member¹ of a disclosable pecuniary interest or other registerable interest (non-pecuniary interest) in a matter under consideration at a meeting (S.31 (4) Localism Act 2011 and the adopted Godalming Members' Code of Conduct).

As required by the Localism Act 2011 and the adopted Godalming Members' Code of Conduct, **I HEREBY DISCLOSE**, for the information of the authority that I have [a disclosable pecuniary interest]² [a registerable interest (non-pecuniary interest)]³ in the following matter:-

COMMITTEE:

DATE:

NAME OF COUNCILLOR: _____

Please use the form below to state in which agenda items you have an interest.

Agenda No.	Subject	Disclosable Pecuniary Interests	Other Registerable Interests (Non-Pecuniary Interests)	Reason

Signed _____

Dated _____

¹ "Member" includes co-opted member, member of a committee, joint committee or sub-committee

² A disclosable pecuniary interest is defined by the Relevant Authorities (Disclosable Pecuniary Interests) regulations 2012/1464 and relate to employment, office, trade, profession or vocation, sponsorship, contracts, beneficial interests in land, licences to occupy land, corporate tenancies and securities

³ A registerable interest (non-pecuniary interest) is defined by Section 9 of the Godalming Members' Code of Conduct.